

CHAMBLEE PARK

PLANNED UNIT DEVELOPMENT
STANDARDS

SEPTEMBER 2, 2021

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CHAMBLEE PARK

CHAPTER 1: INTRODUCTION

PURPOSE, INTENT, AND GENERAL PROVISIONS

PURPOSE AND INTENT

The purpose and intent of the Chamblee Park Standards Book is to permit the planning and development of the property as a unified and integrated development in accordance with the development plans submitted as part of the PUD. The Standards Book and development plans supersede the regulations included in Title 2 and Title 3 of the Unified Development Ordinance (UDO). Whenever these standards are in conflict, the standards in this Standards Book shall apply and supersede the regulations contained in the UDO.

The PUD district is intended to provide a means of accomplishing the following specific objectives:

- To provide for development concepts not otherwise allowed within non-PUD zoning districts;
- To provide flexibility, unity, and diversity in land planning and development, resulting in convenient and harmonious groupings of uses, structures and common facilities;
- To accommodate varied design and layout of housing and other buildings;
- To allow appropriate relationships of open spaces to intended uses and structures;
- To encourage innovations in quality development and renewal so that the growing demands of the population may be met by greater variety in type, design, and layout of buildings and by the conservation and more efficient use of open space;
- To lessen the burden of traffic on streets and highways; and
- To provide a procedure that can relate the type, design, and layout of development to the particular site, thereby encouraging preservation of the site's natural characteristics.

GENERAL PROVISIONS

Text and Graphics

Illustrations, photos, and graphics are included in this Standards Book to illustrate the intent and requirements of the text. In the case of a conflict between the text and any illustrations, photos, or graphics otherwise found in these standards, the text of these standards governs.

In addition, products included in the Standards Book are for illustrative purposes only. The use of specific products and brands is not required. Visually similar designs may be used when approved by the Planning and Development Director or required by Georgia Power or other authorities.

Variances

Note: All provisions in Title 3 of the UDO apply, except where otherwise stated in these standards.

The Planning and Development Director may grant administrative variances to the following standards:

1. Building Types;
2. Blocks as illustrated in the Overall Development Standards as shown on the master plan
3. Driveway lengths as illustrated in the Overall Development Standards as shown on the master plan
4. Architectural Standards as shown in the elevations; and
5. Landscape Standards.

These administrative variances are in addition to those allowed by Article 5 of Chapter 280 of the UDO (Administrative Variances).

When the administrative variance is granted, it must be justified by the Purpose of Intent of this Standards Book (as established above). Variances to citywide standards not identified above or addressed in this Standards Book shall be processed according to their usual procedures.

Variances granted within this PUD shall only apply to the specific lot or building seeking such variance, not to the overall PUD. No variance that applies to all lots in this PUD may be granted except as a PUD modification to this pattern book.

CONTENTS

This Standards Book contains the following as part of the Overall Development Plan (ODP) regulating the development of the property:

- a. Overall Development Standards (ODS) (Chapter 2)
- b. Existing Conditions and Master Plan (Chapter 3)
- c. Streetscape Standards (Chapter 4)
- d. Landscape Pattern Standards (Chapter 5)
- e. Architectural Standards (Chapter 6)

CHAMBLEE PARK

CHAPTER 2: OVERALL DEVELOPMENT STANDARDS

DEVELOPMENT STANDARDS

1. Use Standards

1. Permitted & Prohibited Uses

- 1. When a use is permitted in the following table, the use standards in the Supplemental Regulations of Section 240-7 of the UDO also apply except when otherwise stated in these standards.
- 2. When the following table refers to all individual uses within a specific land use category, the term includes all specific uses listed under said category in Section 240-1 of the UDO.
- 3. The Planning and Development Director is authorized to prepare a written interpretation whether a proposed use not specifically listed in this table is so similar in nature to a permitted use that it is also intended to be permitted in the same subarea. Such determination shall be made in conformance with Section 240-1(a)(2)(b) of the UDO (Permitted and Prohibited Uses).

- 4. The following symbols in the table have the following meanings:

P = Permitted as a principal use;

A = Permitted as an Accessory Use – See Section 240-7;

S = Permitted subject to Supplemental Use Standards of Section 240-13;

T = Permitted as a Temporary Use – See Section 240-14.

Permitted Use Table

District Type	Chamblee Park PUD
Land Use	
1.0 Residential	
1.1 Single-family Residences	P
1.1.1 Single-family detached	P
1.1.2 Accessory dwellings	A
1.1.3 Single-family attached (Townhouse) dwellings	P See supplemental regs herein
1.1.4 Cottage Cluster development	P
1.1.5 Stacked-flat townhouse dwellings	P See supplemental regs herein
1.2 Multifamily Residences	
1.2.1 Multifamily development, including accessory uses (such as health club, tennis courts, pool, and similar uses)	P See supplemental regs herein
1.2.2 Live-work units	P See supplemental regs herein
1.4 Home Occupations	
1.4.1 Home occupation	A
1.5 Homes emphasizing special services, treatment or supervision	
1.5.1 Group Residential Facilities, other than personal care	
1.5.2 Personal care homes, not used primarily for the treatment of contagious diseases, alcoholism, drug addiction or mental illness	
1.5.3 Child and personal care uses (including group day care homes, and child care learning centers)	P See supplemental regs herein
1.5.4 Family Day Care Homes	
1.6 Institutional Residence or care or confinement facilities	
1.6.1 Hospitals, clinics, other medical (including mental health) treatment facilities	
1.6.2 Nursing care institutions, intermediate care institutions, handicapped or infirm institutions, child care institutions	
1.6.3 Institutions (other than halfway houses) where mentally ill persons are confined	
1.7 Hospitality housing, rooms for rent situations	
1.7.1 Rooming houses, boarding houses	
1.7.2 Tourist homes (bed and breakfast), and other temporary residences renting by the day or week	P
1.7.3 Hotels, motels and similar businesses or institutions providing overnight accommodations	
1.7.4 Extended-stay motels/hotels	
1.7.5 Short-term rentals	P See supplemental regs herein

District Type	Chamblee Park PUD
Land Use	
1.8 Temporary manufactured housing	
1.8.1 Temporary manufactured housing approved in the event of an emergency, construction, or repair	T
2.0 Sales and Rental of Goods, Merchandise or Equipment	
2.1 Sales or rental of goods, merchandise or equipment establishments not included in Sales and Rental uses listed below	P
2.3 Sales or rental establishments with drive-through facilities	
2.4 Bicycle sales and repair shops	P
2.6 Convenient cash businesses	
2.7 Corner commercial (see list of specific uses in Sec. 240-13)	P
2.8 Drive-in theater	
2.9 Electrical supply store	P
2.10 Farm equipment sales and service	
2.11 Food stores and groceries	P
2.13 Lumber and other building material establishments	
2.14 Growler Stores	P
2.15 Newsstands	P
2.16 Office equipment and supplies, sales and service, including accessory printing operations	P
2.17 Outdoor retail sales of goods in connection with a permanent establishment	T
2.18 Package stores for the sale of alcoholic beverages	P See supplemental regs herein
2.20 Pawn shops	
2.21 Plumbing and AC/heating equipment dealers	
2.22 Printing, publishing and reproducing establishments, including photoengraving, typesetting, electrotyping and stereotyping and bookbinding related work	P
2.23 Private postal and delivery service	P
2.24 Shopping centers	P
2.25 Sporting goods retail (may not include accessory indoor shooting ranges)	P
2.27 Tobacco products shop	
2.28 Wholesale sales, with no outdoor display or storage of goods	

District Type	Chamblee Park PUD
Land Use	
2.29 Wholesale sales, with outdoor display or storage of goods	
2.31 Fireworks Sales	
3.0 Restaurants	
3.1 Restaurants with no substantial carry-out or delivery service, no drive-in or drive-through service, with no service or consumption outside fully enclosed structure (eating establishments with just inside dining)	P
3.2 Restaurants with outdoor dining	P See supplemental regs herein
3.3 Restaurants with carry-out and delivery service, no consumption on the premises	P
3.4 Brew pubs	P
3.5 Restaurants with drive-through facilities	
3.6 Restaurant providing hookah	
3.7 Event Center	P
4.0 Motor vehicle-related sales and service operations and modifications	
4.1 Automobile dealerships - motor vehicle sales and leasing, with repair and body work as an accessory use	
4.2 Automobile parts and tire stores, both retail and wholesale (e.g., tires, mufflers, etc.)	
4.3 Motor vehicle repair and maintenance, not including substantial body work	
4.4 Motor vehicle repair and maintenance, including painting and body work and modifications as a principal use	
4.5 Automotive wash services (Car Wash), as a principal use	
4.6 Manufactured Home and travel trailer sales	
4.7 Automobile rental establishments	
4.8 Truck and trailer lease and rental establishments	
4.9 Gasoline station with convenience store	
4.10 Boat, boat trailer, and other recreational vehicle sales and repair, provided all repair work is conducted within an enclosed structure	
4.11 Bus station	

District Type	Chamblee Park PUD
Land Use	
5.0 Services - Office, Clerical, Repair, Research and Personal, not primarily related to the sale of goods or merchandise	
5.1 General Office	P
5.2 Personal services, other than those listed below	P
5.3 Acupuncture Clinic	P
5.4 Ambulance services	
5.5 Automatic Teller Machines (ATMs)	A
5.6 Banks and financial institutions with no collateral goods storage on site	P
5.7 Barber and beauty shops and other similar service establishments	P
5.10 Clinics, including medical, dental, chiropractic, osteopathic and similar operations	P
5.12 Contractors offices including general building, heavy construction and special trade, provided there is not outdoor storage of equipment, materials or construction vehicles	
5.13 Contractors offices with outdoor storage of equipment, materials or construction vehicles	
5.14 Fortune tellers and psychics	
5.15 Landscaping Service	
5.16 Laundry and dry cleaning drop-off	P
5.17 Linen and diaper services	P
5.18 Locksmiths and gunsmiths	
5.19 Medical and dental laboratories	
5.20 Massage establishment (licensed by the state)	P See supplemental regs herein
5.21 Photographic studio	P
5.22 Repair services and trade shops, including sheet metal, upholstery, electrical, plumbing, carpentry, sign painting and other similar activities	
5.23 Research and Experimental testing laboratories	
5.24 Satellite Dishes, as an accessory structure	A
5.25 Tailor, dressmaking and hat making shops	P
5.26 Tattoo establishments	
5.27 Taxi stands and dispatching agencies	
5.28 Spa establishment	P See supplemental regs herein
5.29 Staffing Agency	

District Type	Chamblee Park PUD
Land Use	
6.0 Recreation, amusement, entertainment	
6.1 Adult entertainment, including adult book stores, and adult movies	
6.2 Baseball batting range	
6.3 Bowling Alleys	P
6.4 Golf driving range, and/or miniature golf	
6.5 Health clubs and other physical fitness establishments	P
6.6 Park, playground, community center, swimming pool and other recreational facilities as a principal use	P
6.7 Swimming pools, as an accessory structure	A
6.8 Theaters (indoor)	P
6.9 Performing Arts Center, as defined in Chapter 6	P
6.10 Subdivision recreation area (private)	P
6.11 Film Production or Recording Studio	P
7.0 Manufacturing, processing, creating, repairing, renovating, painting, cleaning, assembling of goods, merchandise or equipment	
7.1 Manufacturing operations conducted entirely within fully enclosed permanent building, not otherwise specified	
7.2 Manufacturing operations conducted within fully enclosed building with outdoor storage, not otherwise specified	
7.3 Manufacturing operations that conduct some operations outside fully enclosed building	
7.4 Baking Plants	
7.5 Catering and commercial kitchens	
7.6 Cold storage plants	
7.7 Craft brewery	P
7.8 Craft distillery	P
7.9 Artist's studios	P
7.17 Innovator space	P
8.0 Storage and Parking	
8.1 Parking structures, multi-level	A
8.2 Storage of goods not related to sale or use of those goods on the same lot where they are stored (see Subsection 240-13(h)(2), Outdoor Storage Standards	
8.2.1 Building material or other outdoor storage yards as a principal use	

District Type	Chamblee Park PUD
Land Use	
8.2.2 Building material or other outdoor storage	T
8.2.3 Truck terminal - carting, moving or hauling terminal or yard	
8.2.4 Cold storage and freezer lockers	
8.2.5 Self-storage	
8.2.6 Warehouse, storage or distribution center as a principal use	
8.3 Parking of vehicles or storage of equipment outside enclosed structures where: (i) vehicles or equipment are owned by the person making use of the lot, and (ii) parking or storage is more than a minor and incidental part of the overall use made of the lot (such as an auto dealership inventory storage lot)	
8.4 Commercial dumpsters	A
8.5 Surface Parking	A
9.0 Services and enterprises related to animals	
9.1 Boarding and breeding kennels and animal hospitals with outdoor boarding of animals	
9.2 Keeping of animals	A
9.3 Veterinarian, including animal hospitals, veterinary clinics with no outdoor boarding of animals, and county animal control shelter	P
10.0 Funeral Related Services (Human and Animal Related)	
All Funeral related services	
11.0 Educational, cultural, religious, philanthropic, social or fraternal uses	
11.1.1 Public and private schools offering general education courses (including associated grounds and athletic and other facilities)	
11.1.2 Trade or vocational schools	
11.1.3 College, universities, community colleges (including associated facilities such as dormitories, office buildings, athletic fields, etc.)	
11.2 Assembly halls, including union halls, conference halls, civic halls and activities of a similar nature	P
11.3 Libraries, museums, art galleries, art centers, and similar uses (including associated educational and instructional activities)	P
11.4 Places of worship and places of assembly (including associated	P

District Type	Chamblee Park PUD
Land Use	
residential structures for religious personnel and associated buildings)	
11.5 Social, fraternal clubs and lodges, union halls and similar uses	
11.6 Clubs and lodges catering exclusively to members and their guests	P
12.0 Miscellaneous Public and Semi-Public Facilities	
12.1 General public buildings and uses, not including 12.x uses listed below	
12.2 Communications facilities, including cellular tower	
12.3 Collection Container (as an accessory use)	
12.4 Emergency Services (Police, Fire, EMS, Ambulance, Civil Defense)	P
12.5 Solar energy system, accessory	A
12.6 Solar energy system, principal	
12.7 Utility transmission and monitoring facilities	
12.8 Freestanding mailbox	A
13.0 Agricultural, Forestry, Mining, Quarrying Operations	
13.1 Agricultural operations, farming and forestry (on lots 3 acres or greater)	
13.2 Community Gardens	P
13.3 Greenhouse and horticultural nurseries	
13.4 Recycling center	
14.0 Temporary Structures and Special Events used in connection with the construction of a permanent building or for some non-recurring purpose	
14.1 Temporary Outdoor Sales Events	T
14.2 Mobile Food Unit	T
14.3 Temporary construction trailer	T
14.4 Temporary sales trailer in connection with a building permit	T
14.5 Temporary tent or storage	T
14.6 Temporary storage containers	T
14.7 Farmers Markets	T

1. Supplemental Use Regulations

The following supplemental use provisions apply to uses in the Chamblee Park PUD and replace all Supplemental Regulations in Chapter 240-13.

1. Single-Family Attached (townhouse) dwellings and Stacked-flat Townhouse dwellings.

- a. Total FAR (max): per this Standards Book.
- b. Maximum impervious surface: per this Standards Book.
- c. Max building height: per this Standards Book.
- d. Perimeter Yards: per this Standards Book.
- e. Interior Yards: none except there must be a minimum of 5 feet between the end of a townhome unit and any internal adjacent sidewalk, alley or street.
- f. Minimum lot size: none.
- g. All townhouse buildings shall include a continuous sidewalk no less than 5 ft. in width connecting front entrances of all dwellings.
- h. The front facades of townhouse units shall have architectural modulation and detail that includes features such as varied materials and wall planes, varied roof forms and roof lines, balconies, porches, bay windows, varied window sizes and shapes, shutters, entrance doors, sidelights, pilasters, varied garage door designs, and

other features to provide visual interest.

2. Multifamily Residences

- a. Minimum heated and finished floor area for multifamily dwelling units shall be as follows:
 - i studio: 525 square feet;
 - ii one bedroom: 625 square feet;
 - iii two bedrooms: 950 square feet;
- b. Multifamily parking on the ground floor of a building shall be concealed and wrapped by other active uses positioned adjacent to the street.
- c. Multifamily units shall provide a minimum of 60 percent of units with a balcony of sufficient size to be occupied.
- d. Surface parking lots shall be well lit and shall be limited to the rear or the side of the building. If visible from the street, they shall be screened with landscape materials as provided in Chapter 320, Article 3.
- e. Buildings shall conform to the following design standards:
 - i Facades shall be broken up, both vertically and horizontally, through building materials and offsets.
 - ii Roof line shall be varied.

- iii Building shall utilize a variety of materials to create visual interest.
- iv Building entrances shall be well-marked and identifiable from the building form.
- v Common walls and common floors ceiling between units shall be constructed to meet a sound transmission coefficient (STC) rating of 50 or higher.

3. Live-Work Units

- a. Live-work units shall be mixed-use dwellings that are fire separated from adjacent units as attached dwellings, such as townhouses or as part of a larger mixed-use building.
- b. Each live-work unit shall contain a nonresidential component that shall be no less than 200 square feet and shall be on the ground floor oriented to the street.
- c. The owner-proprietor of the business shall be the occupant of the residential portion of the unit.
- d. An occupational tax certificate shall be required for operation of a business. The business shall not be considered a home occupation.
- e. The business use activity shall not employ more than two persons other than the owner-proprietor.

- f. Permitted business uses in a live-work unit shall be one of the following types:
 - i Professional office
 - ii Workshop, or design studio (art, architecture, engineering, jewelry design, real estate, marketing, counseling, etc.)
 - iii Professional services (travel agent, hairdresser, nail salon, tanning salon, music sales or instruction, tutoring, etc.)
 - iv Specialty retail sales (newsstand, books, jewelry, clothing, shoes, antiques, confections, coffee/tea, ice cream, etc.)
 - v Other similar uses subject to approval of the Planning and Development Director.

4. Child and personal care uses (including family daycare homes, group day care home, and child learning centers)

- a. Family day care home, group day care home, and child learning centers shall meet all applicable state requirements and shall receive all necessary county board of health and state fire marshal approvals prior to issuance of a permit for construction and operation.

5. Short-term rentals

- a. Rentals are only permitted in dwelling units.
- b. Rentals that do not include the entirety of a dwelling unit are not permitted without a permanent resident of the unit residing on-site for the entirety of the rental period.

6. Alcoholic Beverages

- a. Package stores for the sale of alcoholic beverages [2.18]. See Chamblee Code of Ordinances, Chapter 6 - Alcoholic Beverages, Article IV, Retail Package Sales of Distilled Spirits.

7. Restaurants with outdoor dining

- a. Outdoor dining for restaurant service is permitted subject to the following standards:
 - i No outdoor seating shall be used for calculating seating requirements pertaining to the location of, applications for, or issuance of a liquor license for any establishment nor shall the additional seats be used to claim any exemption from any other requirement of any county or state codes or ordinances.
 - ii Outdoor dining abutting a public sidewalk shall be subject to the

following additional development standards:

- iii Outdoor dining areas may not conflict with sidewalk clear zones. They may be counted toward the required supplemental zone. When located adjacent to a sidewalk clear zone, the outdoor dining area shall be clearly delineated.
- iv A minimum setback of at least 2 feet from the curb line shall be provided adjacent to on-street parking spaces in order to maintain adequate space for pedestrian access to motor vehicles.
- v White string lighting may be permitted during operating hours.
- vi Outdoor entertainment shall not be amplified and shall cease at 10:00 p.m. Sunday through Thursday and at 11:00 p.m. Friday and Saturday.

8. Massage and Spa Establishments

- a. Massage and spa establishments [5.20]. See City of Chamblee Code of Ordinances, Chapter 22, Article VIII, "Massage and Spa Establishments" for applicable regulations.

Building Types

Building types regulate the design of buildings in this PUD. Each building type and standards are described below. All buildings must conform to the applicable standards. A building's type is determined by the Planning and Development Director. Note that building types are for zoning purposes only and not linked to the Building Code. Parking structures are not considered a building type.

1A. Single-family Detached

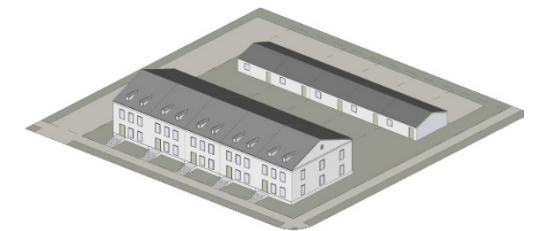
A building type that accommodates one single-family detached dwelling.



Fenestration	
Ground floor:	15% min.
Upper story:	15% min. / 35% max.
Blank wall area:	20 ft. max. (per story)
Pedestrian Access	
Walkway width:	3 ft. min. /5 ft. max.
Parking Location	
No off-street parking is allowed between the building and the street.	

1B. Townhouse

A building type that accommodates 3 or more attached townhome dwelling units where each unit is separated by a common side wall. Units cannot be vertically mixed. Not for non-residential use, except live-work.



Site	
Townhouse units per building:	3 min. / 8 max.
Fenestration	
Ground floor:	15% min.
Upper story:	15% min. / 35% max.
Blank wall area:	20 ft. max. (per story)
Pedestrian Access	
Entrance facing street	Req. for units along street
Walkway width:	3 ft. min. /5 ft. max.
Parking Location	
No off-street parking is allowed between the building and the street.	

1C. Stacked Flat

A building type that accommodates two or more dwelling units vertically and horizontally integrated. Not for nonresidential use.



Site	
Townhouse units per building:	2 min. / 24 max.
Fenestration	
Ground floor:	15% min.
Upper story:	15% min. / 35% max.
Blank wall area:	20 ft. max. (per story)
Pedestrian Access	
Walkway width:	3 ft. min. /5 ft. max.
Parking Location	
No off-street parking is allowed between the building and the street.	

1D. Multi-family

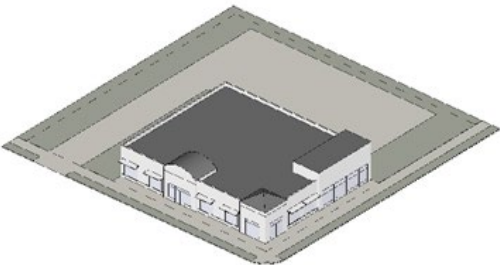
A building type that accommodates 3 or more dwelling units vertically and horizontally integrated, not including the townhouse building type. Not for non-residential use, except live-work.



Site	
Stacked flat units per building:	3 min.
Building Massing	
Street-facing façade width:	200 ft. max.
Floor to Ceiling Height	
All stories:	9 ft. min. / 16 ft. max.
Fenestration	
Ground floor:	20% min.
Upper story:	20% min. / 40% max.
Blank wall area:	20 ft. max. (per story)
Pedestrian Access	
Entrance facing street	Required for lobby and ground floor units along street
Walkway width:	3 ft. min. /8 ft. max.
Parking Location	
No off-street parking is allowed between the building and the street.	

1E. Shopfront

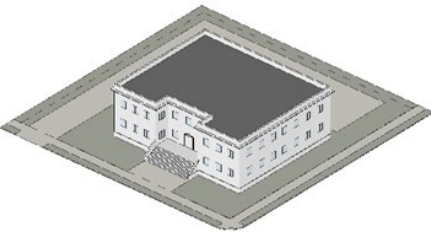
A building type that accommodates retail or other commercial activity. Not for residential uses.



Building Massing	
Street-facing façade width:	200 ft. max.
Floor to Ceiling Height	
Ground floor:	18 ft. min. / 24 ft. max.
Other stories:	9 ft. min. / 20 ft. max.
Fenestration	
Ground floor:	30% min./70% min.
Blank wall area:	40 ft. max. / 20 ft. max.
Pedestrian Access	
Entrance facing street	Required for businesses along street
Walkway width:	6 ft. min.
Parking Location	
No off-street parking is allowed between the building and the street.	

1F. Civic Building

A building type that typically accommodates civic uses.

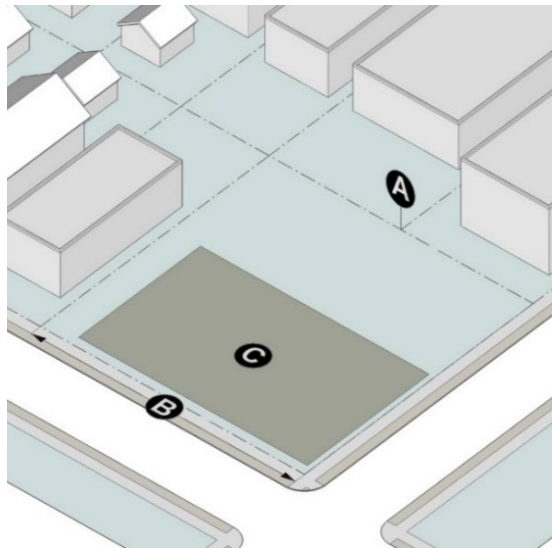


Fenestration	
Ground floor:	15% min.
Blank wall area:	60 ft. max.
Upper story:	15% min.
Pedestrian Access	
Entrance facing street	Required
Walkway width:	6 ft. min.
Parking Location	
No off-street parking lot is allowed between the building and the street.	

- Active Uses
- The following applies to all building types:
1. No more than 10% of the total length of any building facade that abuts a public street may contain storage or equipment rooms within the first 20 feet of depth along such public street.
 2. The above must be calculated separately per vertical division and per story.
 3. The above prohibition does not apply to long-term bicycle parking or to closets within dwelling units.

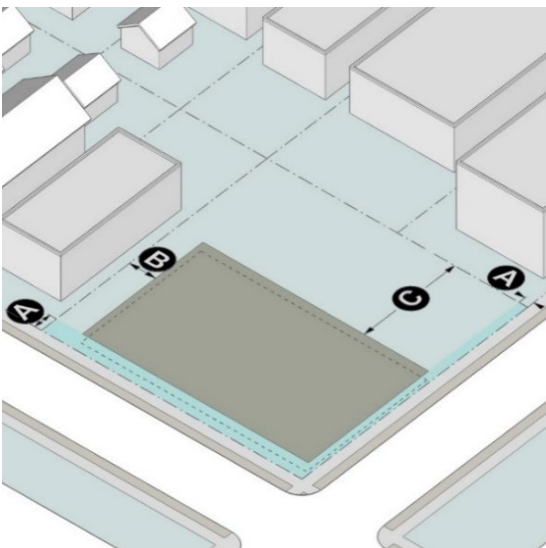
2. Dimensional Standards

2A. Site and Lot Standards



Site Standards		
Floor Area Ratio:	2.2 max.	
Lot Standards	Ⓐ Area	Ⓑ Width
All Building Types:	No min.	No min.

2B. Building Placement



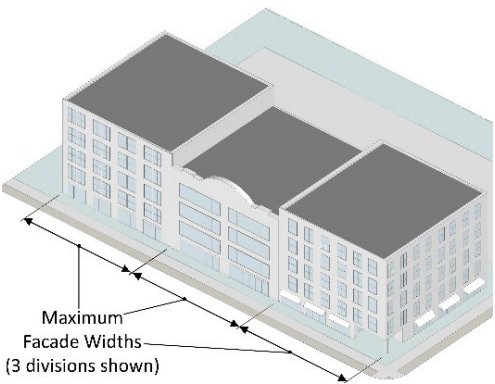
Principal and Accessory Structure Setbacks	
Ⓐ Front Yard, Street Side Yard	0 ft. min.
Ⓑ Side Yard	0 ft. min.
Ⓒ Rear Yard	0 ft. min.
Greater side setbacks, greater rear setbacks, and greater building separation may be required as established by the applicable Building or Fire Codes.	

3. Building Massing

3A. General

1. Building massing standards apply to the following building types which include a maximum street-facing façade width:
 - i. Multi-family;
 - ii. Commercial House;
2. These Building massing standards replace any applicable standards of Section 230-27 of the UDO (Building Architecture).

3B. Standards



Street-facing building façades must use one of the following to divide the façade into vertical divisions at increments no greater than the maximum width dimension shown for building type, as measured along the base of the façade:

1. A change of façade material and window systems from grade to roof, and change of building height of at least one story; or
2. A change in façade composition and/or architectural style from grade to the roof; or
3. An open space or pedestrian passage with a minimum width

of 10 feet and a minimum depth of 30 feet.

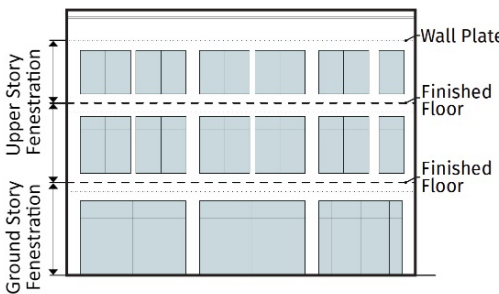
4. Similar means intended to convey the impression of separate buildings.
5. Change in color alone, setback alone, or any combination of the two may not be used to satisfy this requirement.

4. Fenestration

4A. General

1. The following fenestration standards apply in place of Sec. 230-27(a)(6) of the UDO (Building Architecture).
2. Fenestration shall conform to the requirements for the particular building type established in these standards.

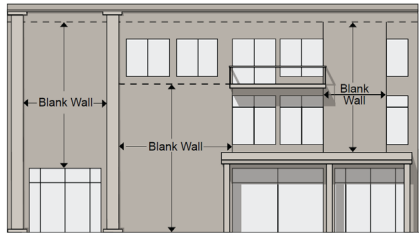
4B. Standards



1. Fenestration is the minimum percentage of window and door glass that must cover a façade. It is calculated based on façade area and by floor.
2. Fenestration requirements apply to façades that abut a street (not including an alley) or a public park.
3. Glass used to satisfy fenestration requirements shall be unpainted, shall have a transparency (visible light transmission) higher than 70%,

and shall have an external reflectance of less than 15%. Transparency and external light reflectance shall be established using the manufacturer's specifications.

4. Window frames, sashes, mullions, and similar features that are integral to the window system count towards fenestration requirements. Opaque doors do not.
5. The façade area used to determine fenestration is measured from the top of the finished floor to the top of the finished floor above.
6. When there is no floor above, fenestration is measured from the top of the finished floor to the top of the wall plate.
7. Blank wall area is measured in linear feet applied in both a vertical and horizontal direction.



8. Blank wall area applies to ground and upper story façades that face a street (not including an alley).

5. **Pedestrian Access**

- 5A. An entrance providing both ingress and egress, operable to residents.

6. **Parking and Loading**

6A. **Vehicular Parking**

1. **Minimum Requirement.**

There is no minimum number of parking spaces required.

2. **Structured Parking, General**

All structured parking, regardless of whether or not it is a principal use, accessory use, freestanding, or part of a building, shall conform to the requirements of these standards, except as otherwise provided immediately below for townhouse garages.

3. **Townhouses**

A minimum of 50 percent of townhouse shall have rear-entry garages. Alleys are permitted as the principal means of vehicular access for these units. See this Standard Book for alley specifications

4. **Location of Parking Lots**

Off-street parking lots and driveways shall not be located between any building and the street.

6B. **Bicycle Parking**

1. **Minimum Requirements**

Minimum required bicycle parking ratios are as follows:

	Short-Term	Long-Term
Residential		
Multifamily	1 per 20 units	1 per 10 units
Non-residential		
Offices	1 per 2,000 sf	1 per 2,000 sf
Other non-residential	1 per 1,000 sf	n/a

2. **Short-Term Bicycle Parking**

Short-term bicycle parking:

- i. Shall not be located inside a building, but may be covered.

- ii. Shall be publicly accessible.
- iii. Shall be spaced to provide clear and maneuverable access without the use of stairs.
- iv. When located in the streetscape, shall not impede pedestrian use of the sidewalk and shall be a maximum distance of 100 feet of the building entrance that the rack is intended to serve.

3. **Long-Term Bicycle Parking**

Long-term bicycle parking:

- i. Shall be provided in private garages, lockers, within a parking structures or a room within a building.
- ii. Shall be accessible to all building occupants.
- iii. Shall provide clear and maneuverable access to a public street without the use of stairs or elevators.

7. **Buffers**

The buffer requirements of Section 230-1 of the UDO (Dimensional Standards of Zoning Districts) do not apply in this PUD.

8. **Building Design**

Building design shall conform to this Standards Book.

9. **Open Space**

1. Open Space shall conform to the standards in this Standards Book.
2. Open space may be calculated and satisfied using the entire PUD property.
3. There is no restriction on the amount of open space that

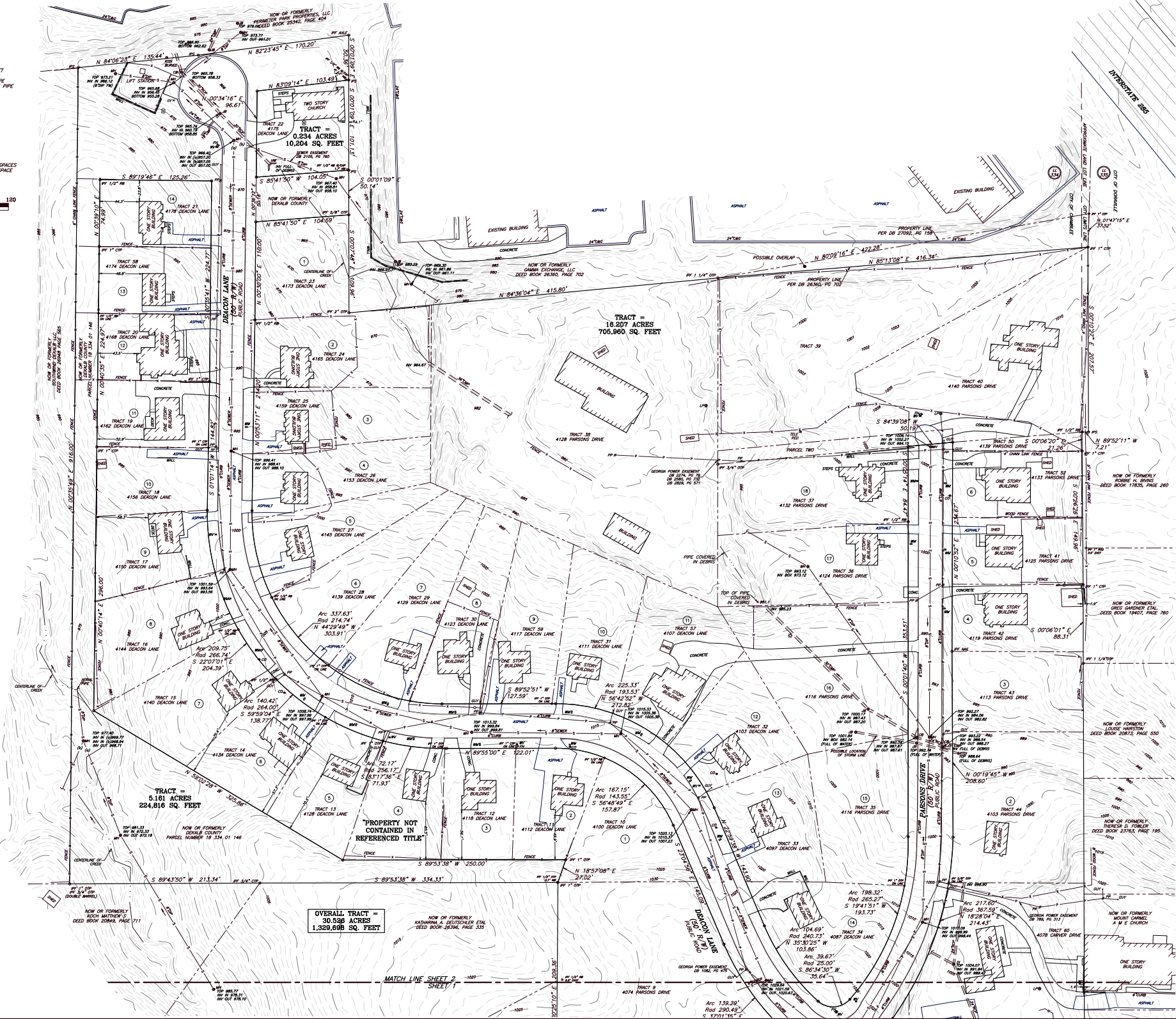
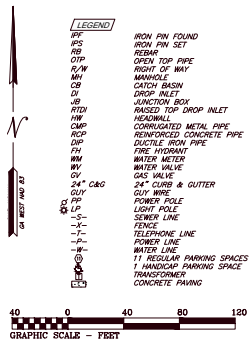
- may consist of hardscape or paved materials.
4. Rooftop patios, rooftop decks, and green roofs may be used to satisfy open space requirements if they can be accessed from the public sidewalk by unconditioned stairs, elevators, or ramps located on the building exterior.
5. Open space materials must conform to the landscape standards of this Standards Book.

CHAMBLEE PARK

CHAPTER 3: EXISTING CONDITIONS & MASTER PLAN

OVERALL DEVELOPMENT STANDARDS (ODC)

1. Max FAR for entire PUD – 2.2 as measured over the entire PUD
2. Maximum FAR for single-family detached residential – 2.2 maximum FAR
3. Maximum impervious surface area – 60% as measured over the entire PUD
4. Minimum open space – 20% as measured over the entire PUD
5. Maximum building height by building types:
 - Cottages, single family detached: 42'-0" Max
 - Townhomes: 47'-0" Max
 - Stacked Townhomes: 52'-0" Max
 - 1-story Retail: 32' max
 - 2-story Retail: 44' max
 - Multifamily: 75' max
6. Minimum lot size for single-family residential – none. The single family homes may be sold by building footprint via deed with the homeowner's association owning all other areas in common.
7. Required setbacks for single-family residential – none, as per #6 above.
8. Maximum block length – 740 feet



Date	
Revision	
No.	
Field Date:	02/05/2021
Plot Date:	03/01/2021
Scale:	1" = 40'

ALTANSPS LAND TITLE SURVEY
FOR
TOLL SOUTHEAST LP COMPANY, INC.
PARSONS DRIVE & DEACON LANE
IN AND NEAR
CITY OF CHAMBLEE, DEKALB COUNTY, GEORGIA

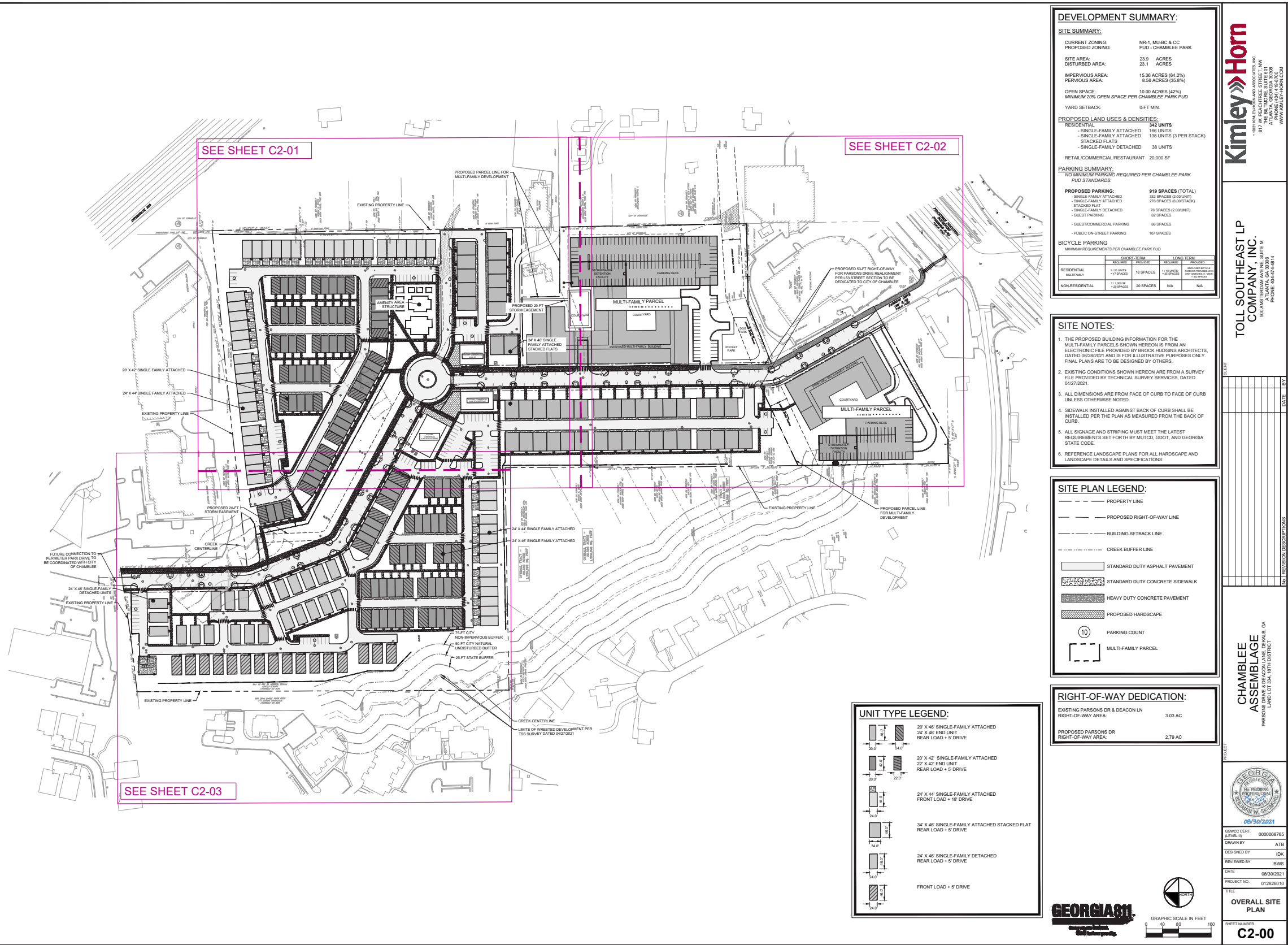
2
SHEET 2 OF 3
JOB #: 2021-733
CDD: PARSONS
DWD: TOLLCHAMBLEE
LSV: TOPO

EXISTING CONDITIONS

This ALTA survey documents the existing conditions of the site.

PURPOSE

This Master Plan outlines building footprints, densities, location of openspace, and internal circulation and similar details including their respective measurements. The Planning and Development Director may approve adjustments to the Master Plan that conform to this Standards Book or are approved through the variance process noted above.



DEVELOPMENT SUMMARY:

SITE SUMMARY:

CURRENT ZONING:	NR-1, MU3C & CC
PROPOSED ZONING:	PUD - CHAMBLEE PARK
SITE AREA:	23.9 ACRES
DISTURBED AREA:	23.1 ACRES
IMPERVIOUS AREA:	15.38 ACRES (64.2%)
PERVIOUS AREA:	8.56 ACRES (35.8%)
OPEN SPACE:	10.00 ACRES (42%)
MINIMUM 20% OPEN SPACE PER CHAMBLEE PARK PUD	
YARD SETBACK:	0-FT MIN.

PROPOSED LAND USES & DENSITIES:

RESIDENTIAL	342 UNITS
- SINGLE-FAMILY ATTACHED	166 UNITS
- SINGLE-FAMILY ATTACHED STACKED FLATS	138 UNITS (3 PER STACK)
- SINGLE-FAMILY DETACHED	38 UNITS
RETAIL/COMMERCIAL/RESTAURANT	20,000 SF

PARKING SUMMARY:

NO MINIMUM PARKING REQUIRED PER CHAMBLEE PARK PUD STANDARDS.

PROPOSED PARKING:

- SINGLE-FAMILY ATTACHED	919 SPACES (TOTAL)
- SINGLE-FAMILY ATTACHED STACKED FLAT	332 SPACES (3.00/UNIT)
- SINGLE-FAMILY DETACHED	278 SPACES (8.00/STACK)
- GUEST PARKING	76 SPACES (2.00/UNIT)
- GUEST COMMERCIAL PARKING	66 SPACES
- PUBLIC ON-STREET PARKING	107 SPACES

BICYCLE PARKING

MINIMUM REQUIREMENTS PER CHAMBLEE PARK PUD

	REQUIRED	PROVIDED	REQUIRED	PROVIDED
RESIDENTIAL	1-10 SPACES	18 SPACES	1-10 SPACES	18 SPACES
NON-RESIDENTIAL	1-1000 SF	20 SPACES	N/A	N/A

SITE NOTES:

1. THE PROPOSED BUILDING INFORMATION FOR THE MULTI-FAMILY PARCELS SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY BROOK HUDGINS ARCHITECTS, DATED 06/26/2021 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. FINAL PLANS ARE TO BE DESIGNED BY OTHERS.
2. EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY TECHNICAL SURVEY SERVICES, DATED 04/27/2021.
3. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
5. ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
6. REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.

SITE PLAN LEGEND:

---	PROPERTY LINE
---	PROPOSED RIGHT-OF-WAY LINE
---	BUILDING SETBACK LINE
---	CREEK BUFFER LINE
[Pattern]	STANDARD DUTY ASPHALT PAVEMENT
[Pattern]	STANDARD DUTY CONCRETE SIDEWALK
[Pattern]	HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED HARDSCAPE
(10)	PARKING COUNT
[Box]	MULTI-FAMILY PARCEL

RIGHT-OF-WAY DEDICATION:

EXISTING PARSONS DR & DEACON LN	
RIGHT-OF-WAY AREA:	3.03 AC
PROPOSED PARSONS DR	
RIGHT-OF-WAY AREA:	2.79 AC

UNIT TYPE LEGEND:

[Diagram]	20' X 40' SINGLE-FAMILY ATTACHED 24' X 40' END UNIT REAR LOAD + 5' DRIVE
[Diagram]	20' X 42' SINGLE-FAMILY ATTACHED 22' X 42' END UNIT REAR LOAD + 5' DRIVE
[Diagram]	24' X 44' SINGLE-FAMILY ATTACHED FRONT LOAD + 16' DRIVE
[Diagram]	34' X 46' SINGLE-FAMILY ATTACHED STACKED FLAT REAR LOAD + 5' DRIVE
[Diagram]	24' X 46' SINGLE-FAMILY DETACHED REAR LOAD + 5' DRIVE
[Diagram]	FRONT LOAD + 5' DRIVE

Kimley»Horn

TOLL SOUTHEAST LP
COMPANY, INC.

CHAMBLEE
ASSEMBLY

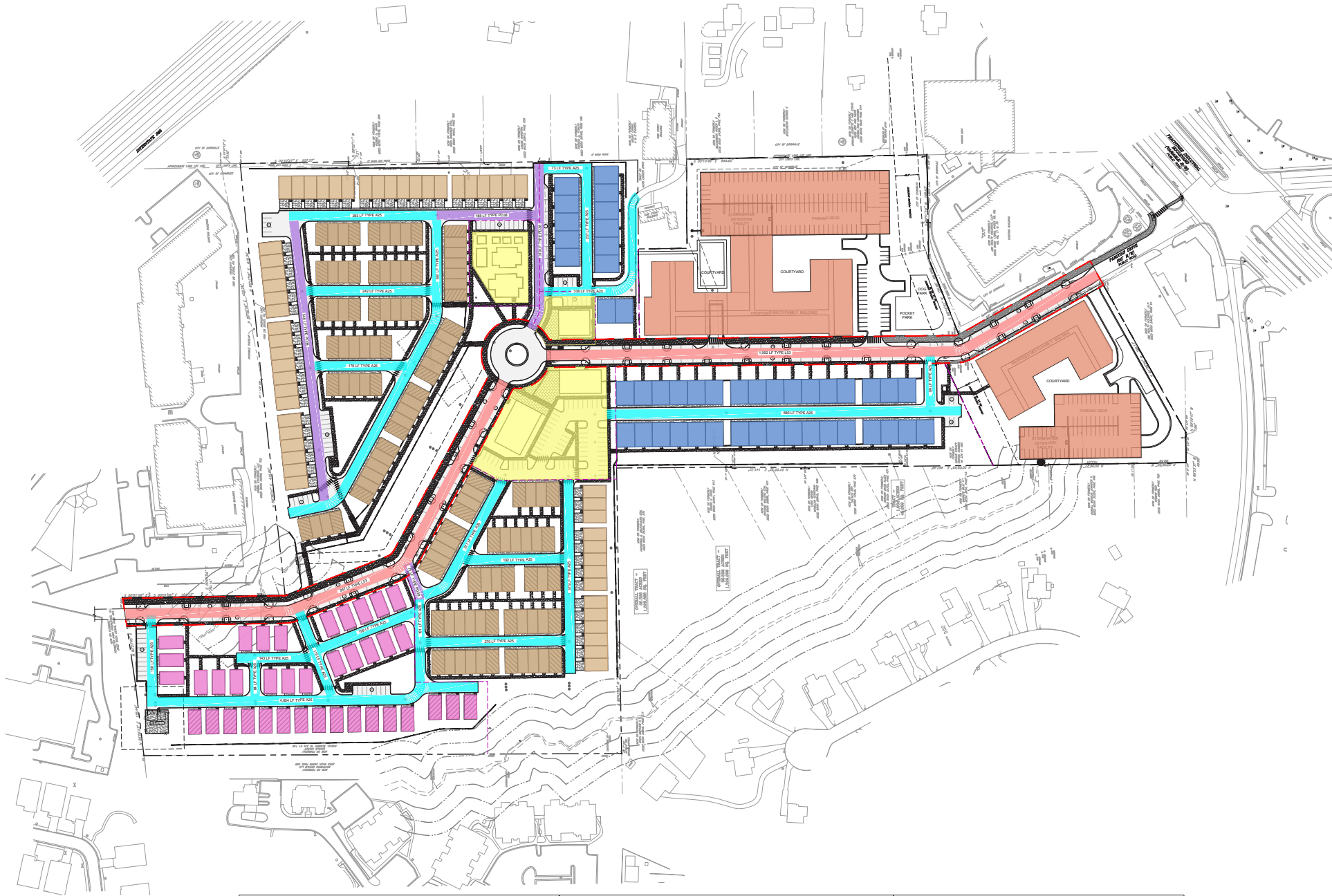


DESIGNED BY:	0000088765
DRAWN BY:	ATB
DESIGNED BY:	IDK
REVIEWED BY:	BWS
DATE:	08/30/2021
PROJECT NO.:	01262610
TITLE:	OVERALL SITE PLAN
SHEET NUMBER:	C2-00



CHAMBLEE PARK

CHAPTER 4: REGULATING PLAN & STREETSCAPE STANDARDS



ZONING SUMMARY:

SITE SUMMARY:

CURRENT ZONING:	NR-1, MU-BG & CC
PROPOSED ZONING:	PUD - CHAMBLEE PARK
TOTAL SITE AREA:	23.9 ACRES

FAR CALCULATED (PER RESIDENTIAL AREA TYPE)

SINGLE-FAMILY ATTACHED / STACKED FLAT:	
PROPERTY AREA:	672,682 SF (15.44 AC)
BUILDING AREA:	1,529,520 SF
FAR CALCULATED:	2.3
SINGLE-FAMILY DETACHED:	
PROPERTY AREA:	166,536 SF (3.82 AC)
BUILDING AREA:	283,050 SF
FAR CALCULATED:	1.70
FAR REQUIRED:	2.2 MAX
MULTI-FAMILY:	
PROPERTY AREA:	284,631 SF (6.53 AC)
BUILDING AREA:	569,260 SF
FAR CALCULATED:	2.0

UOSR CALCULATED (PER RESIDENTIAL AREA TYPE)

*MIN USABLE OPEN SPACE (UOS) REQUIRED = 20% OF SITE

TOWNHOUSE / STACKED FLAT:	
PROPERTY AREA:	672,682 SF
UOS:	278,732 SF (41%)
SINGLE-FAMILY DETACHED:	
PROPERTY AREA:	166,536 SF
UOS:	65,593 SF (39%)
MULTI-FAMILY:	
PROPERTY AREA:	284,631 SF
UOS:	109,852 SF (39%)

IMPERVIOUS AREAS (PER RESIDENTIAL AREA TYPE)

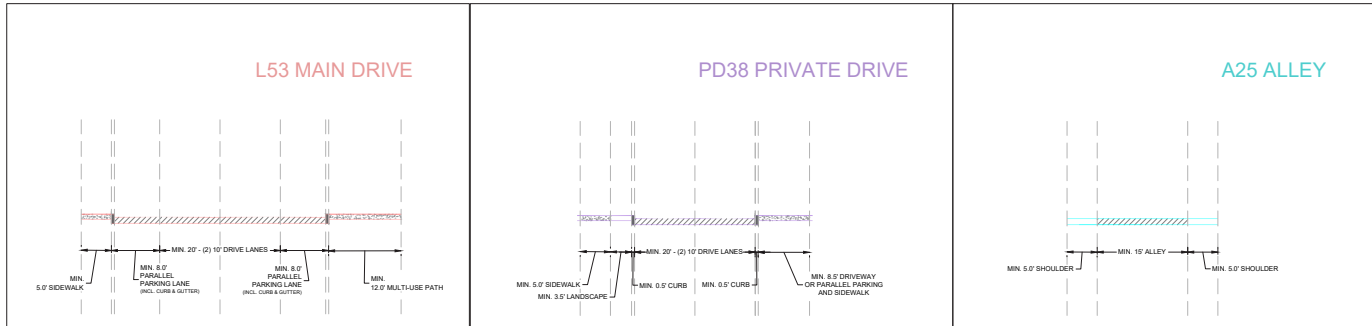
TOWNHOUSE / STACKED FLAT:	
PROPERTY AREA:	672,682 SF
IMPERVIOUS AREA:	470,877 SF (70%)
SINGLE-FAMILY DETACHED:	
PROPERTY AREA:	166,536 SF
IMPERVIOUS AREA:	85,872 SF (52%)
MULTI-FAMILY:	
PROPERTY AREA:	284,631 SF
IMPERVIOUS AREA:	143,168 SF (50%)

SITE PLAN LEGEND:

---	PROPERTY LINE
- - - -	RESIDENTIAL AREA DELINEATIONS
---	PROPOSED RIGHT-OF-WAY LINE
---	CREEK BUFFER LINE
[Pattern]	STANDARD DUTY ASPHALT PAVEMENT
[Pattern]	STANDARD DUTY CONCRETE SIDEWALK
[Pattern]	HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED HARDSCAPE
(10)	PARKING COUNT

LAND USE LEGEND:

[Pink]	SINGLE-FAMILY DETACHED
[Orange]	SINGLE-FAMILY ATTACHED
[Blue]	SINGLE-FAMILY ATTACHED STACKED FLAT
[Yellow]	RETAIL/COMMERCIAL/RESTAURANT/AMENITY/CLINIC
[Red]	MULTI-FAMILY



REGULATING PLAN

The overall Master Plan shall serve as the regulating plan for the development.

BLOCKS AND STREETS

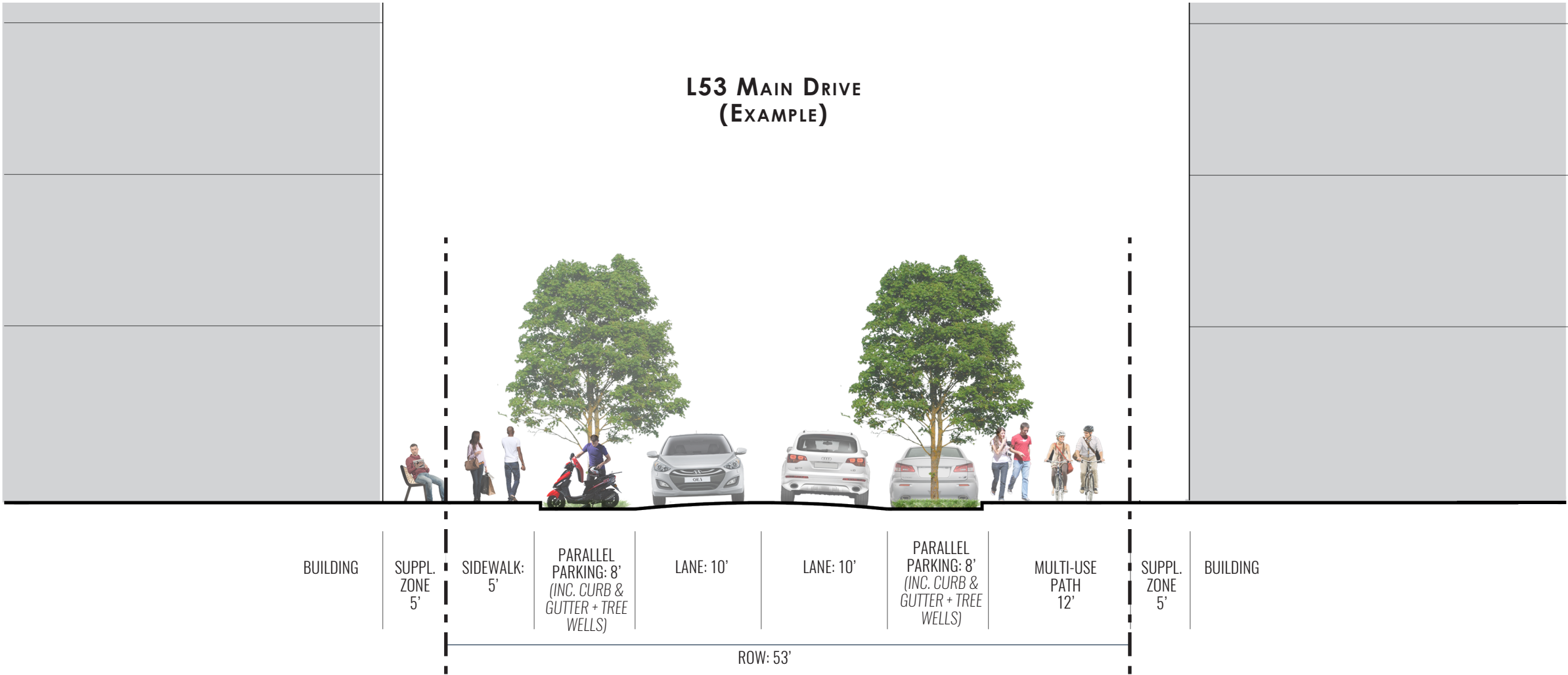
All sites shall incorporate new streets shown on the Master Plan. When the Master Plan shows a new street on a specific site, the Planning and Development Director may adjust the location shown by up to 100 feet in any direction to accommodate a proposed development program.

New streets and streetscapes must conform to the minimum standards shown in this Standards Book except when an official City plan or project uses an alternate design.

STREET SECTIONS

L53 Main Drive

WIDTH	
Right-of-Way Width	53 feet
Face of curb to face of curb width	36 feet
STREETSCAPE	
Supplemental Zone	Min. 5 feet
Sidewalk	Min. 5 feet
Parallel Parking/Tree Wells (incl. Curb & Gutter)	Min. 8 feet
Multi-use Path	Min. 10 feet
Planter Tree Spacing (max.)	80 feet on-center
Planter Type	Landscaped/Hardscaped
TRAVELWAY	
Travel Lane	12 feet

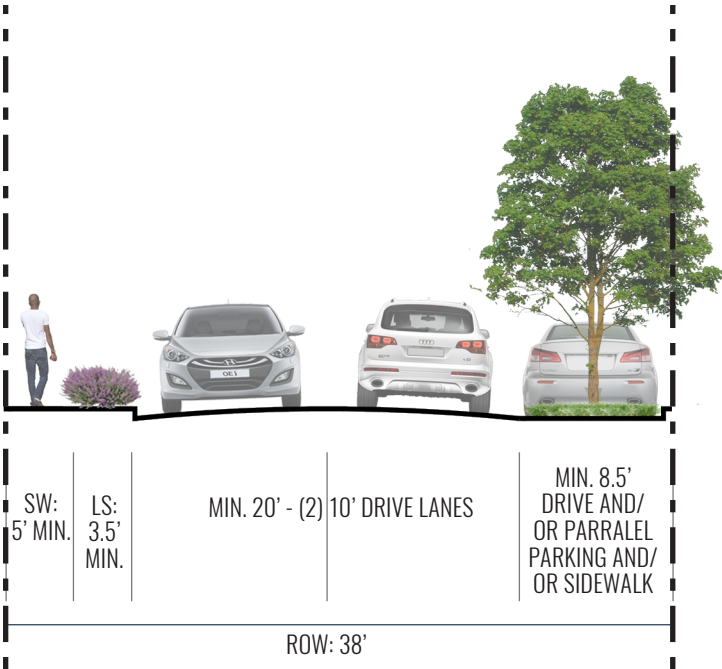


STREET SECTIONS

PD38 Private Drive

WIDTH	
Right-of-Way Width	38 feet
Face of curb to face of curb width	20 feet
STREETSCAPE	
Sidewalk	Min. 5 feet
Parallel Parking/Tree Wells	Min. 8.5 feet
Planter Tree Spacing (max.)	80 feet on-center
Planter Type	Landscaped/Hardscaped
TRAVELWAY	
Travel Lane	10 feet

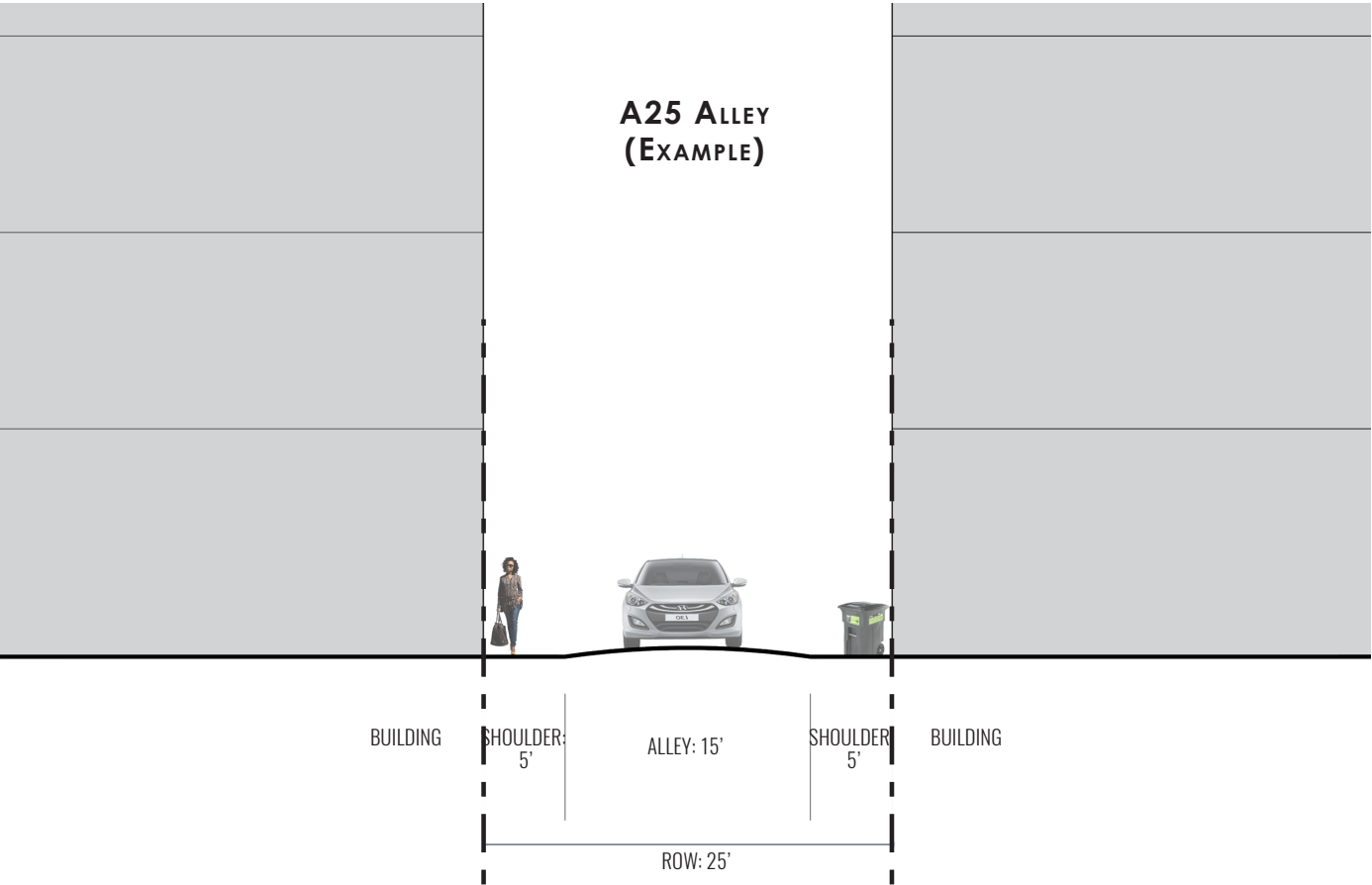
PD38 PRIVATE DRIVE
(EXAMPLE)



STREET SECTIONS

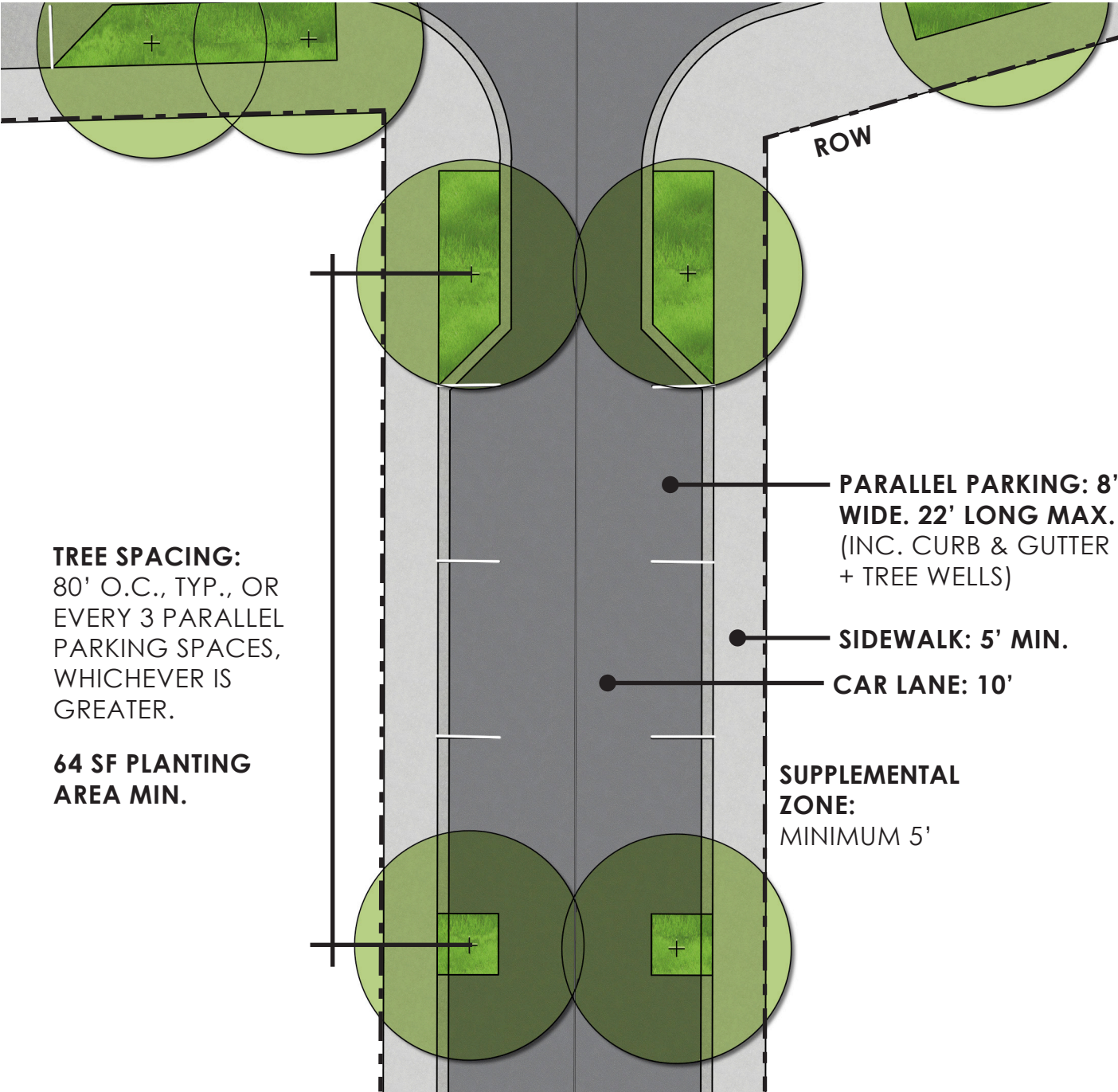
A25 Alley

WIDTH	
Right-of-Way Width	Min. 25 feet
STREETSCAPE	
Shoulder	Min. 5 feet
TRAVELWAY	
Travel Lane	Min. 15 feet



STREET SECTIONS SPACING PLAN

General Street - Lane (50' ROW)



CHAMBLEE PARK

CHAPTER 5: LANDSCAPE PATTERNS

MATERIALS

The following materials are required for streetscape furniture, hardscape, and site walls in public space.

Material	Site Walls	Sidewalks / Walkways	Plazas / Patios	Other Locations
Wood	X	X	X	X
Concrete Pavers		X	X	X
Granite Fines / Slate Chips			X	X
Brick or Stone	X	X	X	X
Gray Concrete	X	X	X	X
Powder coated black metal				X
Corten Steel				X
Modular Block	X			

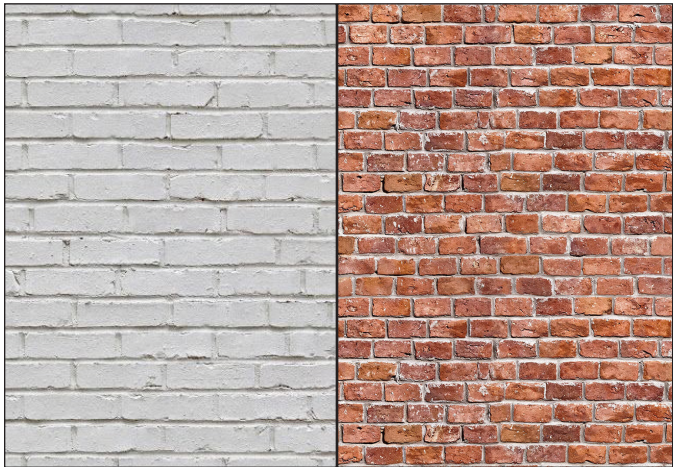
X = Style is allowed on the indicated site element



Concrete Pavers



Granite Fines or Slate Chips



Brick



Corten steel



Gray Concrete



Wood



Gray Concrete



Powder coated black metal

FURNITURE FAMILY: STANDARD

The following are examples of furnishings to be provided on public streets. Similar furnishings can be substituted with the approval of the Planning and Development Director.

PEDESTRIAN LIGHTING



Georgia Power

- Philips Domus Pendant
- LED Area Lighting
- Full cutoff
- Black Powdercoat

Georgia Power
Michael Watkin
MTWatkin@Southernco.com
www.georgiapower.com/business/industry-services/outdoor-lighting

City of Chamblee Pedestrian Lighting

Pole:
Hapco Grand pole (Attached 38482 drawing)
Part number: 38482-014-P1
Description: Grand pole, 14' Mounting Height, Direct Embed, 4"x 6" tall tenon, federal highway breakaway rated, black finish.

Fixture:
Cooper Lighting, 75-watt LED Epic ((Attached Epic cut sheet)
Part number: MEM-E03-LED-5LTD-U-T3-X-BL-BK-7030-U9004
Description: Epic, modern housing, LED, DALI dimmable driver, universal voltage 120-277, type III distribution, solid mid-section, large bell shade, black, 75 system watts, 3000 CCT.

Arm:
Cooper Lighting Epic Arm
Part Number: SA6105-BK-4N7-SWOOSH
Description: Bishop single arm with Swoosh, 7-PIN PCR, black finish.

STREET LIGHT

City of Chamblee Street Lighting

Pole:
Hapco Grand pole (Attached 38482 drawing)
Part number: 38482-018-P1
Description: 18' Mounting Height, Direct Embed, 4"x 6" tall tenon, federal highway breakaway rated, black finish.

Fixture:
Cooper Lighting, 100-watt LED Epic (Attached Epic cut sheet)
Part number: MEM-E04-LED-5LTD-U-T3-X-BL-BK-7030-U9043
Description: Epic, modern housing, LED, DALI dimmable driver, universal voltage 120-277, type III distribution, solid mid-section, large bell shade, black, 100 system watts, 3000 CCT.

Arm:
Cooper Lighting Epic Arm
Part Number: SA6105-BK-4N7-SWOOSH
Description: Bishop single arm with Swoosh, 7-PIN PCR, black finish.

BENCHES



Landscape Forms

- Scarborough Bench
- Style: Backless 72"
- Black Powdercoat

Landscape Forms
269.381.0396
7800 E. Michigan Ave.
Kalamazoo, MI 49048
Comments@landscapeforms.com
www.landscapeforms.com

BIKE RACKS



The Park Catalog

- U Bike Rack: 1-7/8" O.D.
- Item #: 398-8021
- In-ground mount
- Finish: Black Powdercoat

220 Congress Park Drive, Suite 215
Delray Beach FL 33445
P: 888-447-2401 ext 354
E: Terry O'Neill
terry@theparkcatalog.com
www.theparkcatalog.com

LITTER RECEPTACLES



Belson Outdoors

- 34 Gallon Steel Trash Receptacles with Door
- Model # PSFT34-D
- With TLSRS3 Rain Shield Lid
- Finish: Jet Black Powdercoat

Belson Outdoors., LLC
627 Amersale Drive, Naperville, IL 60563
800-323-5664 630-897-8489 P: 800-323-5664 or 630-897-8489
E: John Adams
jadams@belson.com
www.belson.com

FENCING



Ameristar

- Montage Industrial
- Style: Majestic, 2-Rail
- In-ground mount
- Finish: Black Powdercoat

Ameristar Region 4
3717 Mercy Star Court
Orlando, Florida 32808
Chris Sweet
E: region4fax@ameristarfence.com
www.ameristarfence.com



Belson Outdoors

- Sentinel Series Litter Receptacle with Door and Two 34 Gallon Liners
- Model # SFT34X2D
- With TLSRS3 Rain Shield Lid
- Finish: Jet Black Powdercoat

Belson Outdoors., LLC
627 Amersale Drive, Naperville, IL 60563
800-323-5664 630-897-8489 P: 800-323-5664 or 630-897-8489
E: John Adams
jadams@belson.com
www.belson.com

STREET TREES



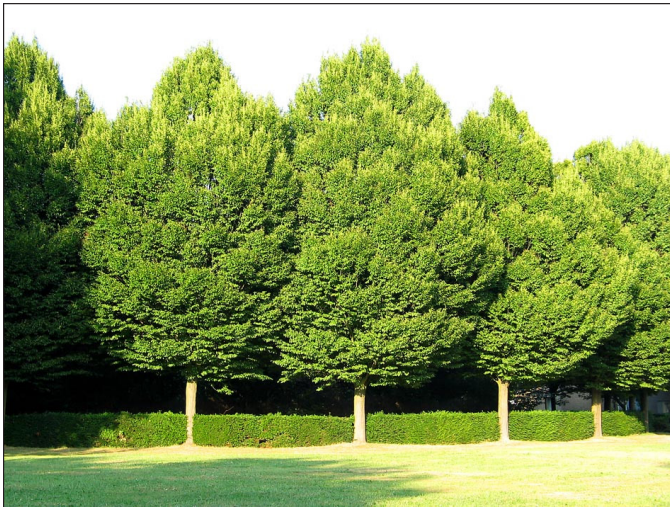
CHINESE PISTACHE
Pistacia chinensis



HIGHTOWER WILLOW OAK
Quercus phellos 'Hightower' (Native)



EXCLAMATION LONDON PLANETREE
Platanus acerifolia 'Morton Circle'



EUROPEAN HORNBEAM
Carpinus betulus 'Fastigiata'



TRIDENT MAPLE
Acer buergerianum



HIGHBEAM OVERCUP OAK
Quercus lyrata 'Highbeam'



JEFFERSON ELM
Ulmus americana 'Jefferson'

FLOWERING TREES

Small flowering or evergreen trees may be planted under overhead utilities. They may be interspersed with street trees along the sides of the streets. These trees shall be planted a minimum of 4' to 8' from the travel lane, depending on the posted speed of the streets.



LITTLE GEM DWARF SOUTHERN MAGNOLIA
Magnolia grandiflora 'Little Gem' (Native)



OKAME CHERRY
Prunus x okame



SAUCER MAGNOLIA
Moagnolia x soulangeana



DOGWOOD
Cornus variety (var. florida = Native)



SWEETBAY MAGNOLIA
Magnolia virginiana (Native)



CRAPE MYRTLE
lagerstroemia indica



FRINGE TREE
Chionanthus virginicus (Native)

CHARACTER TREE

- OCTOBER GLORY RED MAPLE
Acer rubrum 'October Glory'
- BALD CYPRESS
Taxodium distichum
- PALATIAL DAWN REDWOOD
Metasequoia glyptostrobodies 'Palatial'
- TRIDENT MAPLE
Acer buergerianum

SPECIMEN TREE

- JAPANESE MAPLE
Acer palmatum

EVERGREENS

- GREEN GIANT ARBORVITAE
Thuja plicata 'Green Giant'
- NELLIE R STEVENS HOLLY
Ilex 'Nellie R. Stevens'
- MARY NELL HOLLY
Ilex 'Mary Nell'

UPRIGHT
EVERGREENS

- TAYLOR JUNIPER
Juniperus virginiana 'Taylor'
- EMERALD GREEN ARBORVITAE
Thuja occidentalis 'Emerald Green'

GROUNDCOVERS &
GRASSES



DAYLILIES
Hemerocallis
Recommended Variety: Stella



LIRIOPE MUSCARI
Liriope muscari 'Super Blue'



DAFFODILS
Narcissus
Can be combined with liriope



MUHLY GRASS
Muhlenbergia capillaris (Native)



SQUAW SWITCH GRASS
Panicum virgatum 'Squaw'



BOWLES GOLDEN SEDGE
Carex elata 'Bowles Golden'



CONEFLOWERS
Echinacea (purpurea 'Tiki Torch',
purpurea 'Sundown') (Native)

GROUNDCOVERS &
GRASSES, CONT.



DWARF FOUNTAIN GRASS
Pennisetum alopecuroides 'Hameln'



PROVENCE FRENCH LAVENDER
Lavandula × *intermedia* 'Provence'



BUTTERFLY WEED
Asclepias tuberosa (Native)



SHENANDOAH SWITCH GRASS
Panicum virgatum 'Shenandoah' (Native)



STONECROP
Sedum (var. Autumn Joy, Divergens, or Rose Carpet)



SUPERSTAR DIANTHUS
Dianthus 'Superstar'

LANDSCAPE PLAN

See Attached Plan

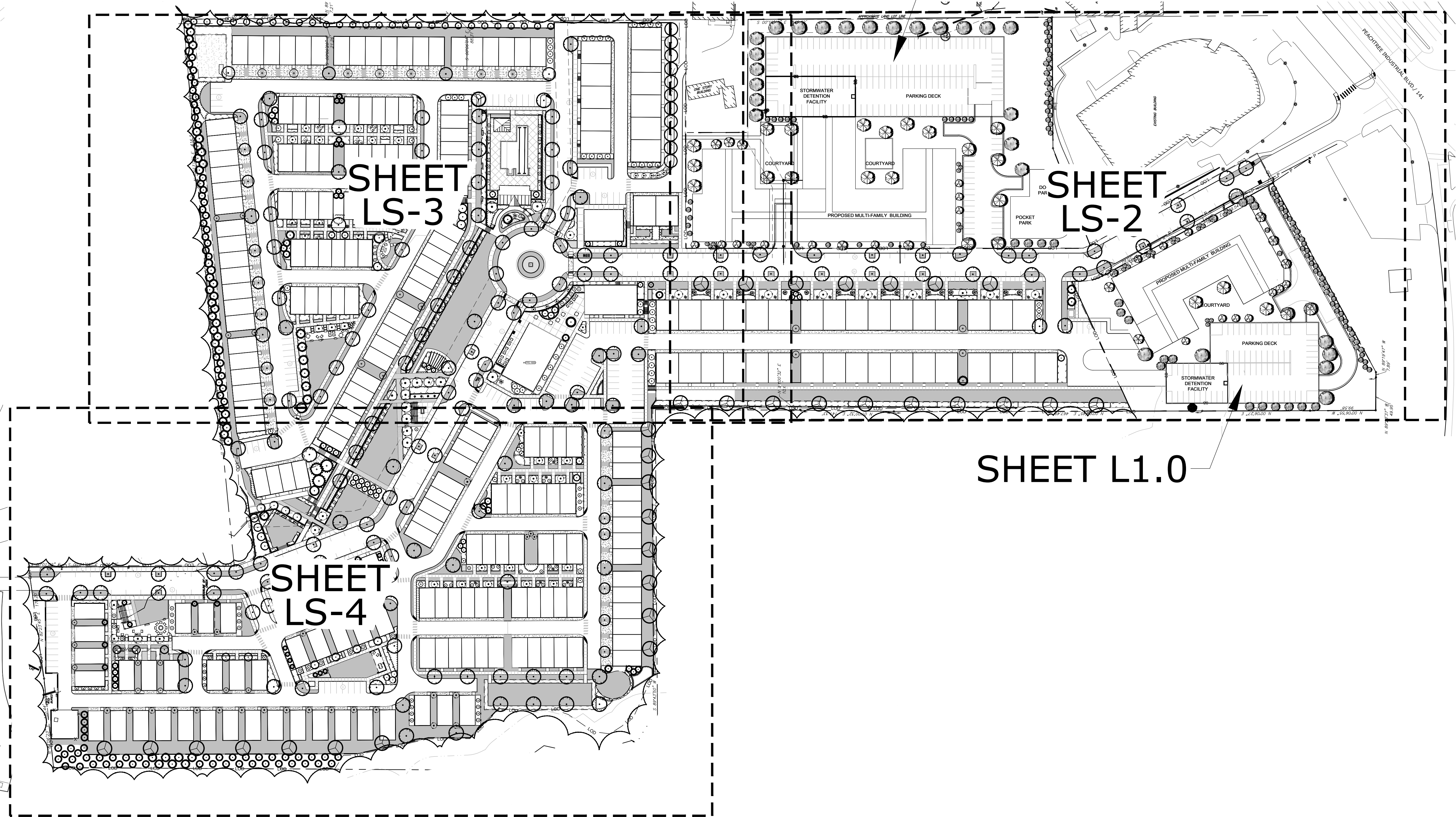
Last modified on: 07/29/21 by: SUSAN
File located in: C:\Users\Susan\Documents\Centricity\Projects\2021-O'Leary Design Group\Chamblee Assemblage\Graphics\AssemblageLW1.dwg

A

LS-1

SHEET INDEX

SCALE: 1"=80'



NORTH

0'40'80'160'

O'LEARY DESIGN GROUP

LAND PLANNERS

LANDSCAPE ARCHITECTS

5339 Garnaby Lane | Norcross, GA 30092 | 770-365-3005

TITLE

SHEET INDEX

DATE

7-28-2021

JOB NO.

21015

DWG

LW1

DRAWN

SWK

CHECKED

PJO

SCALE

AS SHOWN

SHEET

LS-1

1

OF

4

REVISIONS

NO.	DATE	ISSUE

Chamblee Assemblage

Parsons Drive & Deacon Lane, DeKalb County, GA

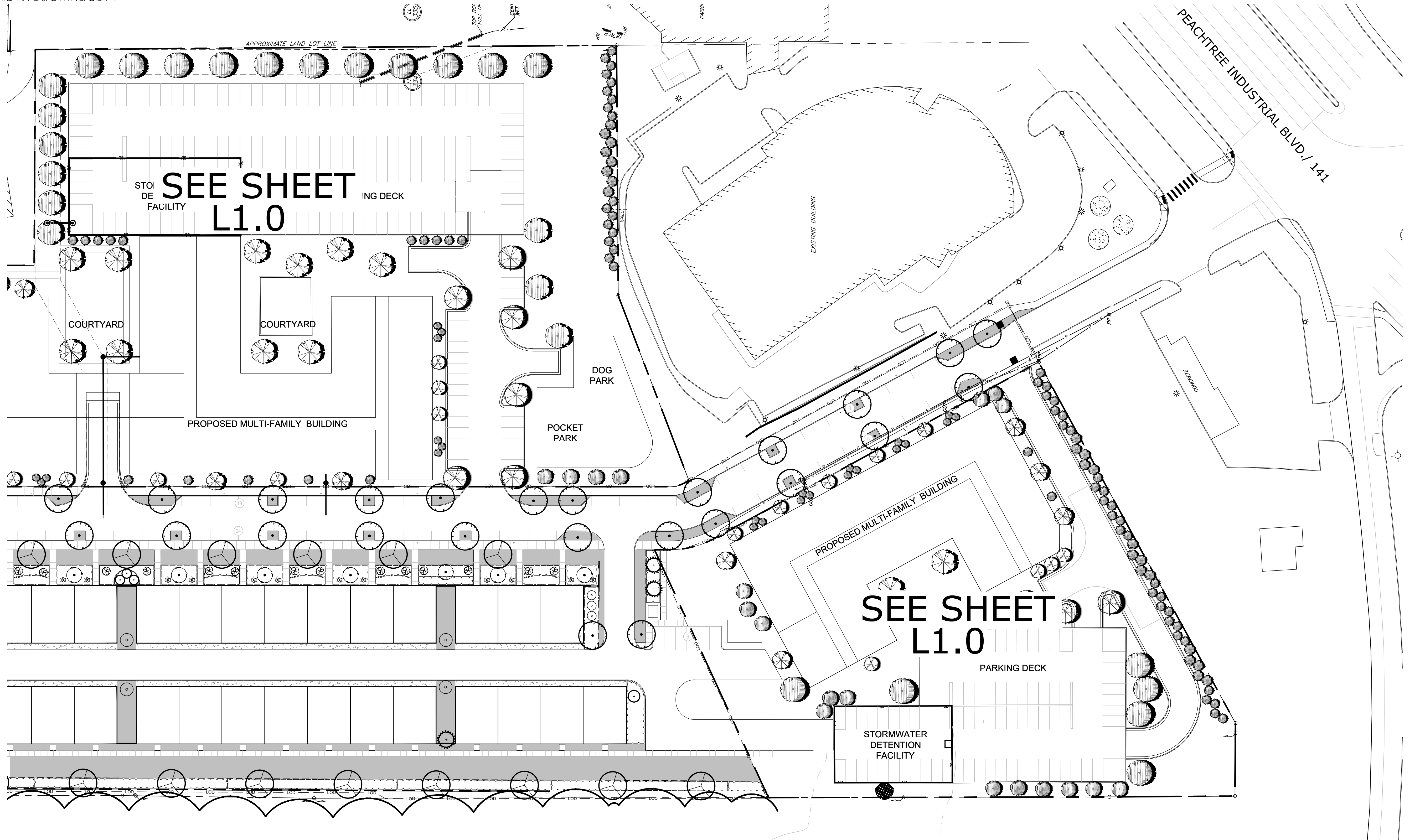
Toll Southeast LP Company, Inc.

500 Amsterdam Ave, NE, Suite M, Atl., GA 30306

NOT RELEASED FOR CONSTRUCTION

Last modified on: 07/28/21 by: SUSAN
File located in: C:\Users\Susan\Documents\Centricity\Projects\2021-O'Leary Design Group\Chamblee Assemblage\Graphics\AssemblageLW1.dwg

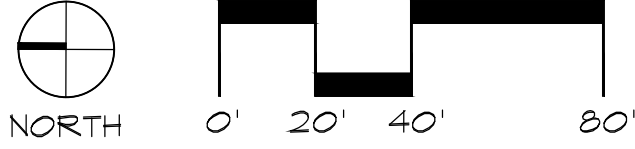
THESE PLANS ARE CONCEPTUAL IN NATURE. WE RESERVE THE RIGHT TO MODIFY OR CHANGE THE DESIGN DUE TO MARKET INFLUENCES, UTILITIES, GRADING AND MATERIAL AVAILABILITY.



A LANDSCAPE DEVELOPMENT PLAN
LS-2 SCALE: 1"=40'

TREE LEGEND

- STREET TREE
*Hightower Willow Oak
*Highbeam Overcup Oak
*Chinese Pistache
*Jefferson Elm
- CHARACTER TREE
*October Glory Red Maple
*Bald Cypress
*Palatial Dawn Redwood
*Trident Maple
- SPECIMEN CHARACTER TREE
*Japanese Maple
- FLOWERING TREE
*Okame Cherry
*Single & Multi-Stem Crape Myrtle
*Saucer Magnolia
*Fringe Tree
- LARGE EVERGREEN
*Magnolia
*Green Giant Arborvitae
- EVERGREEN TREE
*Nellie R Stevens Holly
*Mary Nell Holly
- UPRIGHT EVERGREEN TREE
*Taylor Juniper
*Emerald Arborvitae



REVISIONS		
NO.	DATE	ISSUE

Chamblee Assemblage
Parsons Drive & Deacon Lane, DeKalb County, GA
Toll Southeast LP Company, Inc.
500 Amsterdam Ave, NE, Suite M, Atl., GA 30306

TITLE
LANDSCAPE
DEVELOPMENT
PLAN

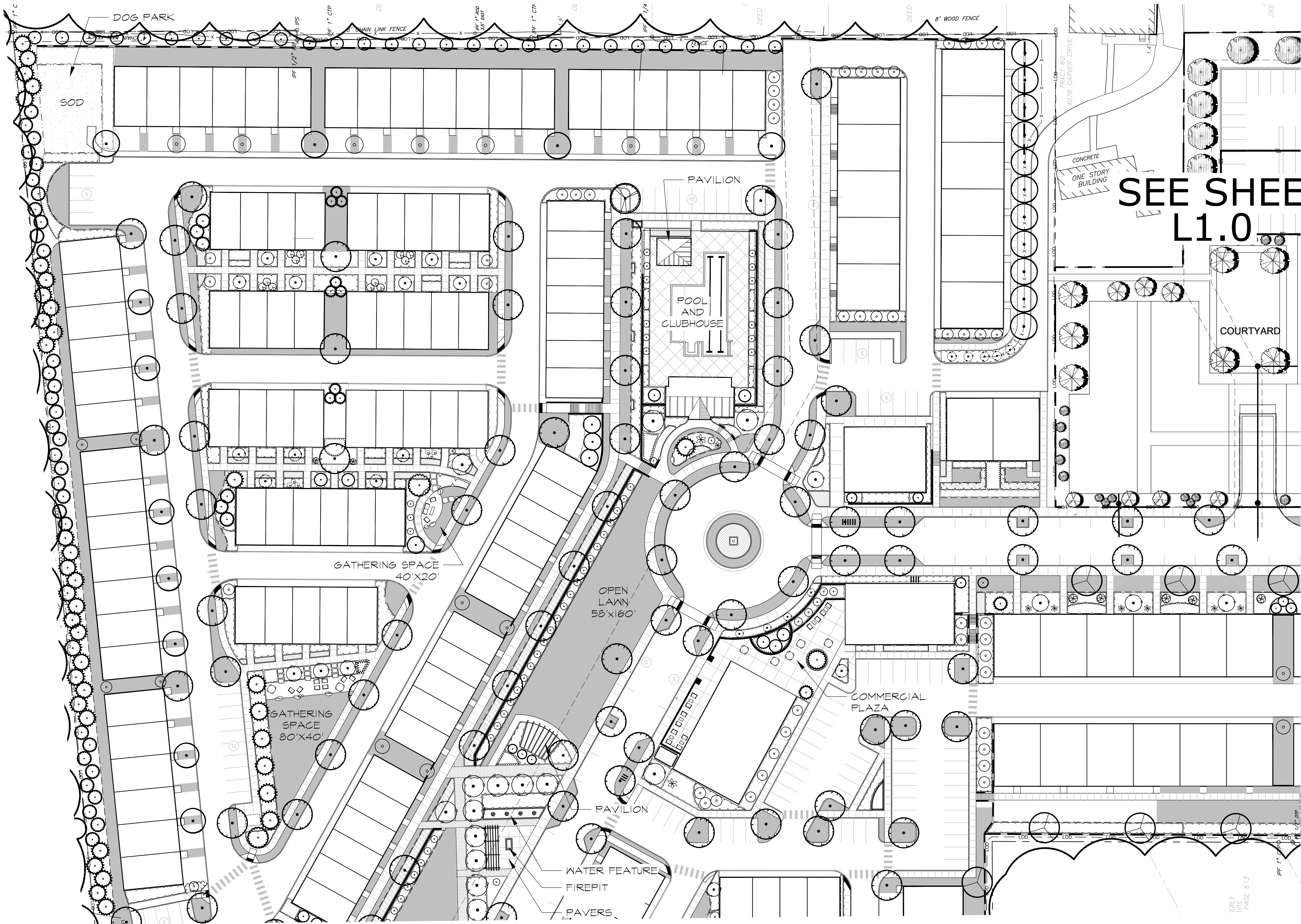
DATE	7-28-2021
JOB NO.	21015
DWG	LW1
DRAWN	SWK
CHECKED	PJO
SCALE	AS SHOWN
SHEET	LS-2
2	OF 4

O'LEARY DESIGN GROUP
LAND PLANNERS LANDSCAPE ARCHITECTS
5339 Garnaby Lane | Norcross, GA 30092 | 770-365-3005

Last modified on: 07/29/21 by: SUSAN
File located in: C:\Users\Susan\Documents\Centricity\Projects\2021-O'Leary Design Group\Chamblee Assemblage\Graphics\AssemblageLW1.dwg

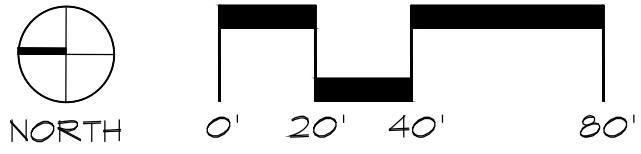
THESE PLANS ARE CONCEPTUAL IN NATURE. WE RESERVE THE RIGHT TO MODIFY OR CHANGE THE DESIGN DUE TO MARKET INFLUENCES, UTILITIES, GRADING AND MATERIAL AVAILABILITY.

A LANDSCAPE DEVELOPMENT PLAN
LS-3 SCALE: 1"=40'



TREE LEGEND

- STREET TREE
*Hightower Willow Oak
*Hightbeam Overcup Oak
*Chinese Pistache
*Jefferson Elm
- CHARACTER TREE
*October Glory Red Maple
*Bald Cypress
*Palatial Dawn Redwood
*Trident Maple
- SPECIMEN CHARACTER TREE
*Japanese Maple
- FLOWERING TREE
*Okame Cherry
*Single & Multi-Stem Crape Myrtle
*Saucer Magnolia
*Fringe Tree
- LARGE EVERGREEN
*Magnolia
*Green Giant Arborvitae
- EVERGREEN TREE
*Nellie R Stevens Holly
*Mary Nell Holly
- UPRIGHT EVERGREEN TREE
*Taylor Juniper
*Emerald Arborvitae



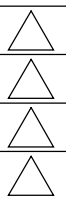
SEE SHEET
L1.0

Chamblee Assemblage
Parsons Drive & Deacon Lane, DeKalb County, GA
Toll Southeast LP Company, Inc.
500 Amsterdam Ave, NE, Suite M, Atl., GA 30306

TITLE
LANDSCAPE
DEVELOPMENT
PLAN

DATE	7-28-2021
JOB NO.	21015
DWG	LW1
DRAWN	SWK
CHECKED	PJO
SCALE	AS SHOWN
SHEET	LS - 3
	3 OF 4

REVISIONS		
NO.	DATE	ISSUE



O'LEARY DESIGN GROUP
LAND PLANNERS LANDSCAPE ARCHITECTS
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A

LANDSCAPE DEVELOPMENT PLAN

LS-4 SCALE: 1"=40'



- TREE LEGEND
- STREET TREE

*Hightower Willow Oak
*Highbeam Overcup Oak
*Chinese Pistache
*Jefferson Elm

CHARACTER TREE

*October Glory Red Maple
*Bald Cypress
*Palatial Dawn Redwood
*Trident Maple

SPECIMEN CHARACTER TREE

*Japanese Maple

FLOWERING TREE

*Okame Cherry
*Single & Multi-Stem Crape Myrtle
*Saucer Magnolia
*Fringe Tree

LARGE EVERGREEN

*Magnolia
*Green Giant Arborvitae

EVERGREEN TREE

*Nellie R Stevens Holly
*Mary Nell Holly

UPRIGHT EVERGREEN TREE

*Taylor Juniper
*Emerald Arborvitae

Chamblee Assemblage

Parsons Drive & Deacon Lane, DeKalb County, GA

Toll Southeast LP Company, Inc.

500 Amsterdam Ave, NE, Suite M, Atl., GA 30306

TITLE

LANDSCAPE DEVELOPMENT PLAN

DATE	7-28-2021
JOB NO.	21015
DWG	LW1
DRAWN	SWK
CHECKED	PJO
SCALE	AS SHOWN
SHEET	LS -4
	4 OF 4

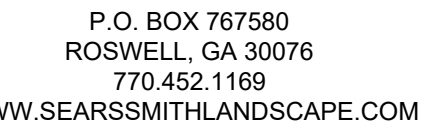
REVISIONS		
NO.	DATE	ISSUE

O'LEARY DESIGN GROUP

LAND PLANNERS LANDSCAPE ARCHITECTS

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770.452.1169
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[illegible]

CHAMBLEE ASSEMBLAGE
PARSONS DRIVE & DEACON LANE
DEKALB COUNTY GEORGIA
LAND LOT 334, 18TH DISTRICT

ALLIANCE
RESIDENTIAL COMPANY
720 PEACHTREE RD NW
SUITE 150
ATLANTA, GA 30309
404.920.0153

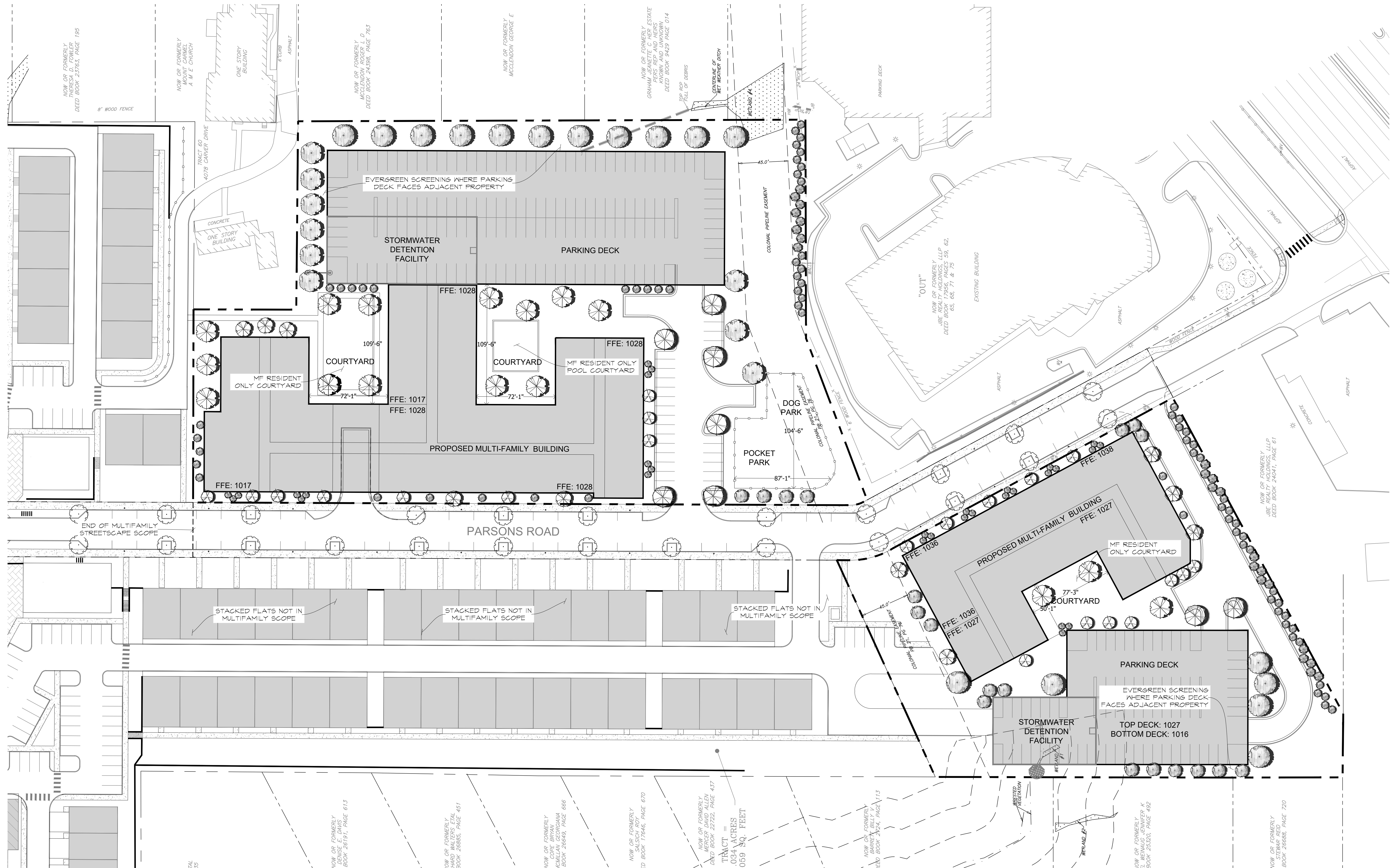
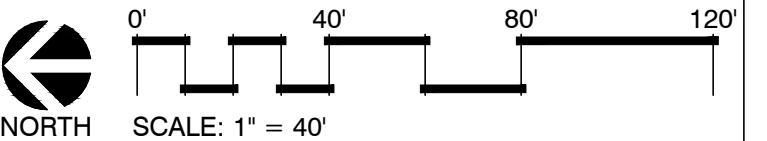
CONCEPTUAL LANDSCAPE PLAN

CHECKED: CCS

JULY 27, 2021

- SHEET NUMBER

NOTE: ALL PLANTINGS LOCATIONS SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE



CHAMBLEE PARK

CHAPTER 6: ARCHITECTURAL STANDARDS

MATERIALS

Facades that abut a public street or public park are restricted to materials allowed by architectural style and building type in Table 1. Brick and masonry requirements do not apply to facades that abut private drives or alleys.

TABLE 1: MATERIALS ALLOWED BY BUILDING TYPE AND ARCHITECTURAL STYLE

Exterior building materials along facades that abut a public street or public park are limited to the items below:	Townhouse	Stacked Flat Townhouse	Detached Single-Family	Shopfront	Multi-Family	Civic
Painted or Unpainted brick*	X	X	X	X	X	X
Painted or Unpainted natural or manufactured stone	X	X	X	X	X	X
Wood or tinted cement-based clapboard siding	X	X	X	X	X	X
Glass and metal				X	X	
Concrete** (above third story only)				X	X	

*Brick shall be full depth, thin brick (5/8 inch or thicker)

**Unpainted, painted, or stained

ARCHITECTURAL RENDERINGS

Examples of architectural styles for the Single-Family Detached, Townhouse, and Stacked Flat Building Types are attached

COLOR MIX

SW - 7004 Snowbound
[Painted Cementitious Vertical
Siding + Board & Batten]

SW - 7004 Snowbound
[Painted Brick - Brick Color #1]

SW - 7015 Repose Gray
[Painted Cementitious Siding]

Meridian Brick - Stone Mountain
[Brick Color #2]

SW - 6254 Lazy Gray
[Painted Cementitious Siding]

Meridian Brick - Downing Street
[Brick Color #3]

NOTES:
1. COLORS ABLE TO TO BE SUBSTITUTED WITH
SIMILAR COLORS AND ALTERNATE MANUFACTURERS

2. MASONRY LEVELS VARY BASED ON SITE LOCATION
AND REQUIRED PERCENTAGES OUTLINED IN PUD
PATTERN BOOK



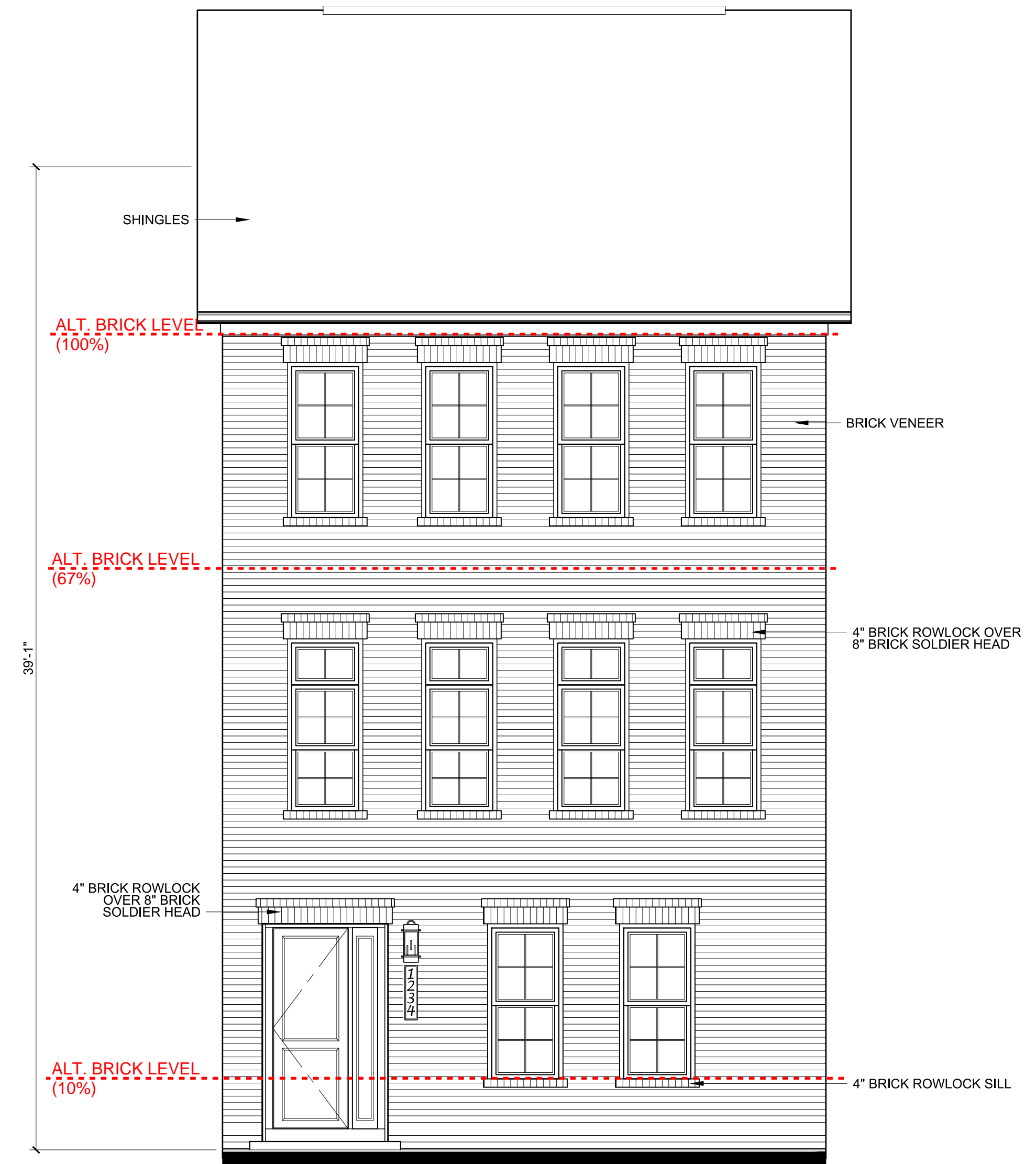
FACADES ABUTTING PUBLIC STREETS AND PUBLIC PARKS: 50% MASONRY COVERAGE (MINIMUM); 50% CEMENTITIOUS SIDING/PANEL COVERAGE (MAXIMUM)
FACADES ABUTTING PRIVATE DRIVES AND ALLEYS: 10% MASONRY COVERAGE (MINIMUM); 90% CEMENTITIOUS SIDING/PANEL COVERAGE (MAXIMUM)



COTTAGE
(DETACHED / REAR LOAD)

RENDERING

CHAMBLEE
CITY OF CHAMBLEE, GA





COLOR MIX

SW - 7004 Snowbound
[Painted Cementitious Vertical
Siding + Board & Batten]

SW - 7004 Snowbound
[Painted Brick - Brick Color #1]

SW - 7015 Repose Gray
[Painted Cementitious Siding]

Meridian Brick - Stone Mountain
[Brick Color #2]

SW - 6254 Lazy Gray
[Painted Cementitious Siding]

Meridian Brick - Downing Street
[Brick Color #3]

NOTES:
1. COLORS ABLE TO TO BE SUBSTITUTED WITH
SIMILAR COLORS AND ALTERNATE MANUFACTURERS

2. MASONRY LEVELS VARY BASED ON SITE LOCATION
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PATTERN BOOK



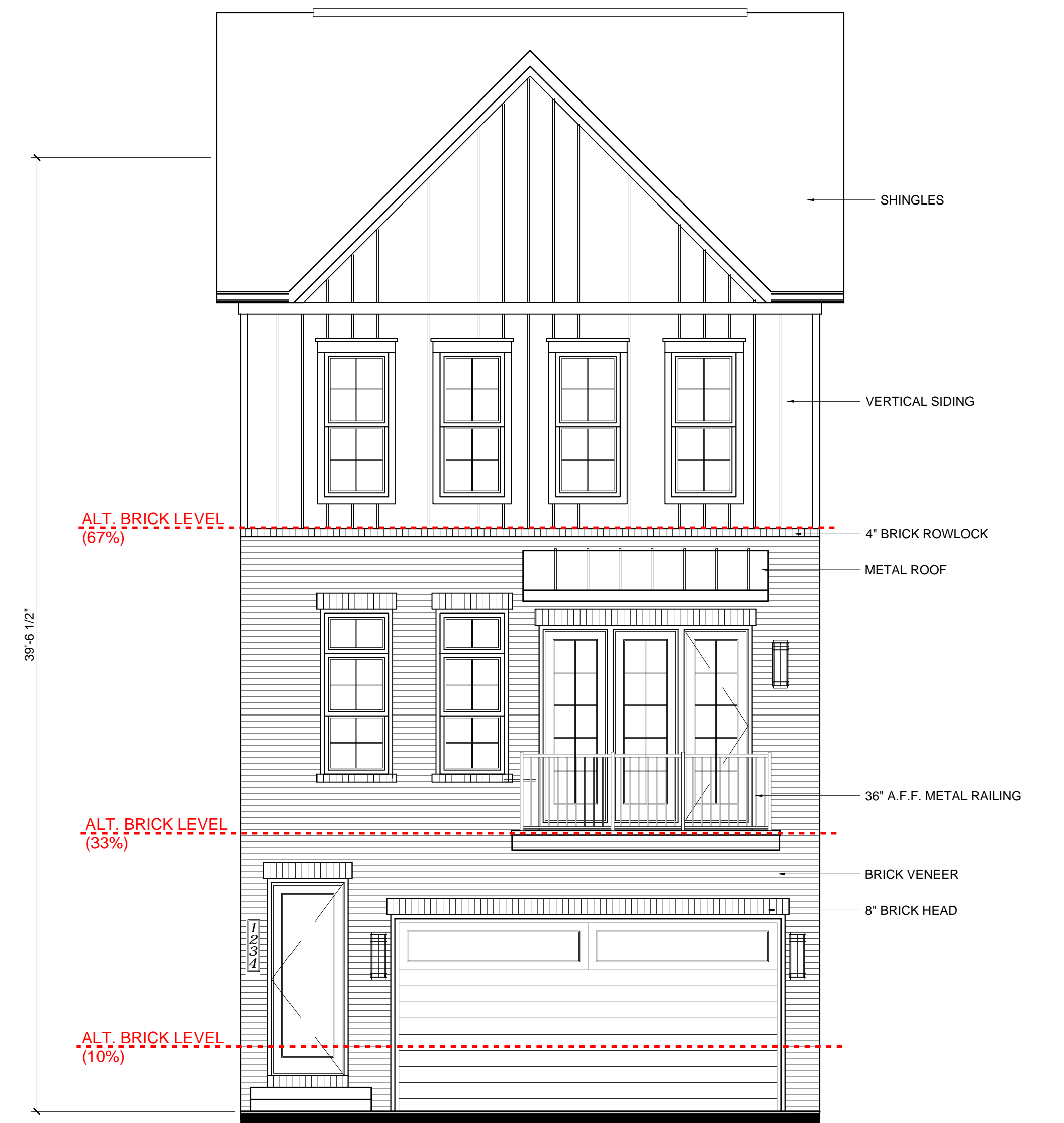
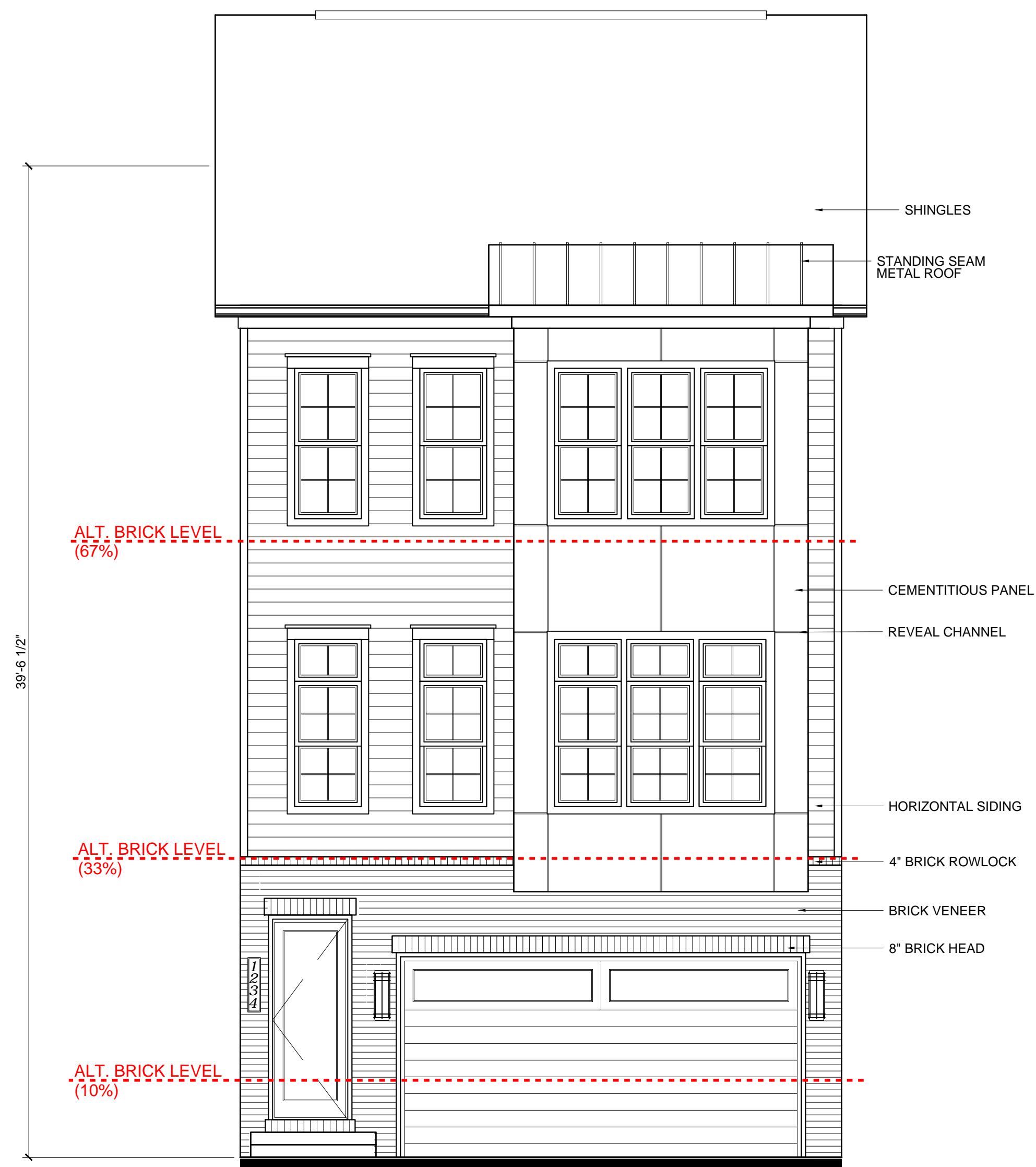
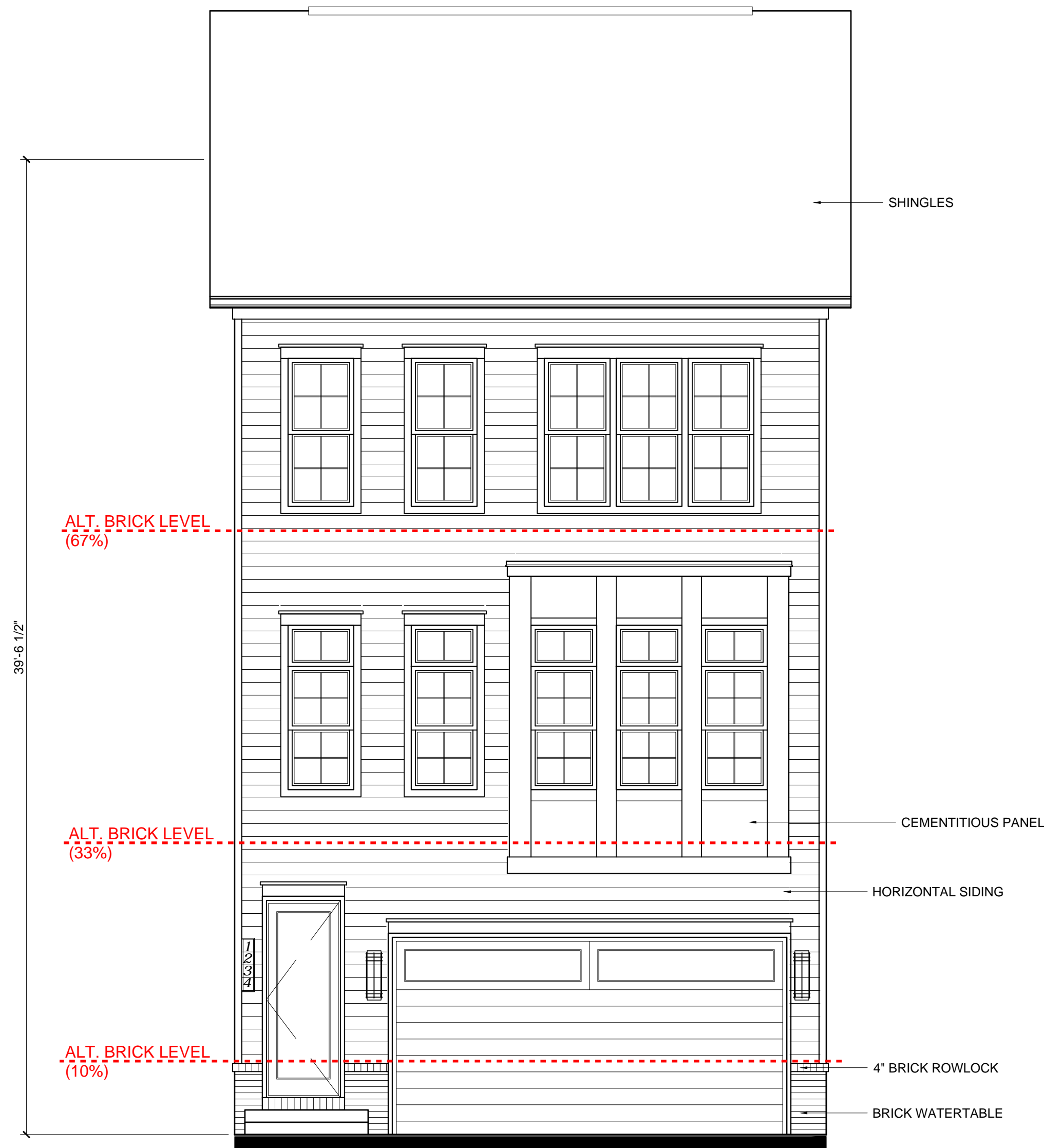
FACADES ABUTTING PUBLIC STREETS AND PUBLIC PARKS: 50% MASONRY COVERAGE (MINIMUM); 50% CEMENTITIOUS SIDING/PANEL COVERAGE (MAXIMUM)
FACADES ABUTTING PRIVATE DRIVES AND ALLEYS: 10% MASONRY COVERAGE (MINIMUM); 90% CEMENTITIOUS SIDING/PANEL COVERAGE (MAXIMUM)



COTTAGE
(DETACHED / FRONT LOAD)

RENDERING

CHAMBLEE
CITY OF CHAMBLEE, GA

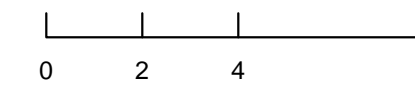
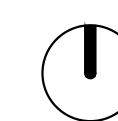


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Toll Brothers
AMERICA'S LUXURY HOME BUILDER

CHAMBLEE
DEKALB COUNTY, GA
2020-0733.00, .01, .02, .03

SCHEMATIC DESIGN
JULY 21, 2021



DETACHED: 24'X46'
FRONT LOAD

A.02a



COLOR MIX

SW - 7004 Snowbound
[Painted Cementitious Vertical
Siding + Board & Batten]



SW - 7015 Repose Gray
[Painted Cementitious Siding]



SW - 6254 Lazy Gray
[Painted Cementitious Siding]



NOTES:
1. COLORS ABLE TO TO BE SUBSTITUTED WITH
SIMILAR COLORS AND ALTERNATE MANUFACTURERS
2. MASONRY LEVELS VARY BASED ON SITE LOCATION
AND REQUIRED PERCENTAGES OUTLINED IN PUD
PATTERN BOOK



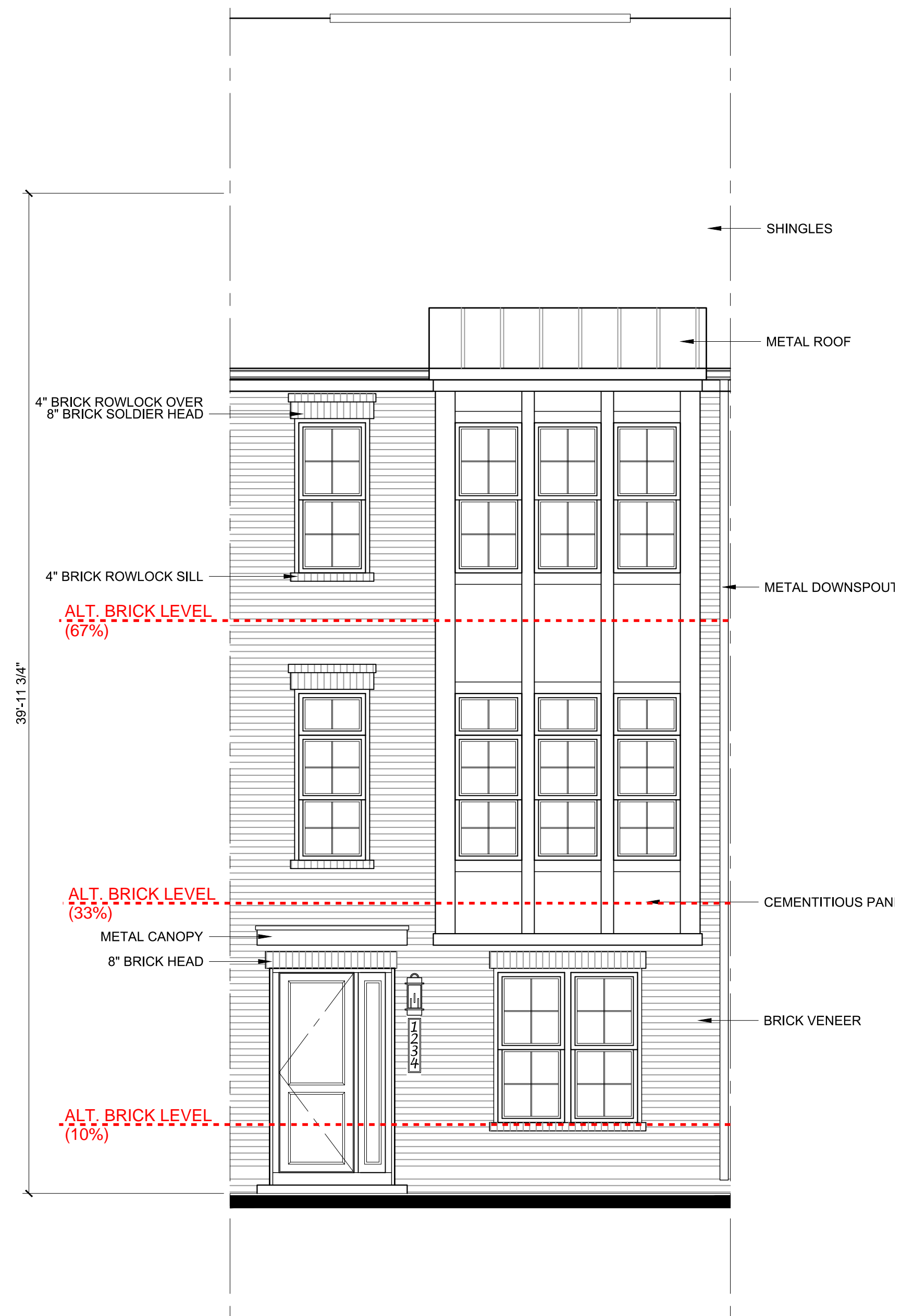
FACADES ABUTTING PUBLIC STREETS AND PUBLIC PARKS: 50% MASONRY COVERAGE (MINIMUM); 50% CEMENTITIOUS SIDING/PANEL COVERAGE (MAXIMUM)
FACADES ABUTTING PRIVATE DRIVES AND ALLEYS: 10% MASONRY COVERAGE (MINIMUM); 90% CEMENTITIOUS SIDING/PANEL COVERAGE (MAXIMUM)



TOWNHOMES
(3-STORY / REAR LOAD)

RENDERING

CHAMBLEE
CITY OF CHAMBLEE, GA





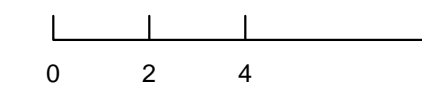
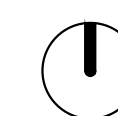


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AMERICA'S LUXURY HOME BUILDER®

CHAMBLEE
DEKALB COUNTY, GA
2020-0733.00, .01, .02, .03

SCHEMATIC DESIGN
JULY 21, 2021



24'X46'
REAR LOAD

A.03c

COLOR MIX

SW - 7004 Snowbound
[Painted Cementitious Vertical
Siding + Board & Batten]

SW - 7004 Snowbound
[Painted Brick - Brick Color #1]

SW - 7015 Repose Gray
[Painted Cementitious Siding]

Meridian Brick - Stone Mountain
[Brick Color #2]

SW - 6254 Lazy Gray
[Painted Cementitious Siding]

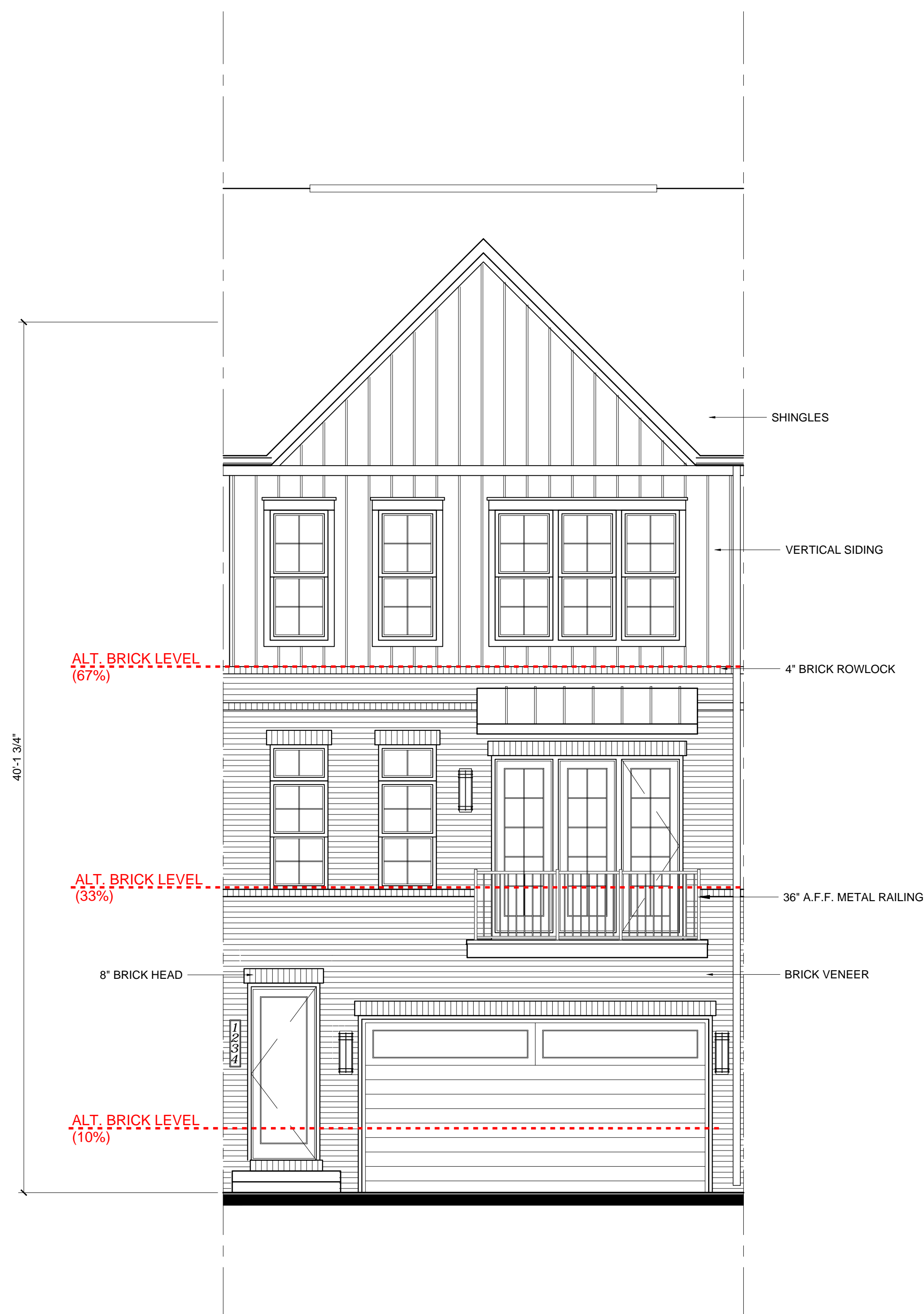
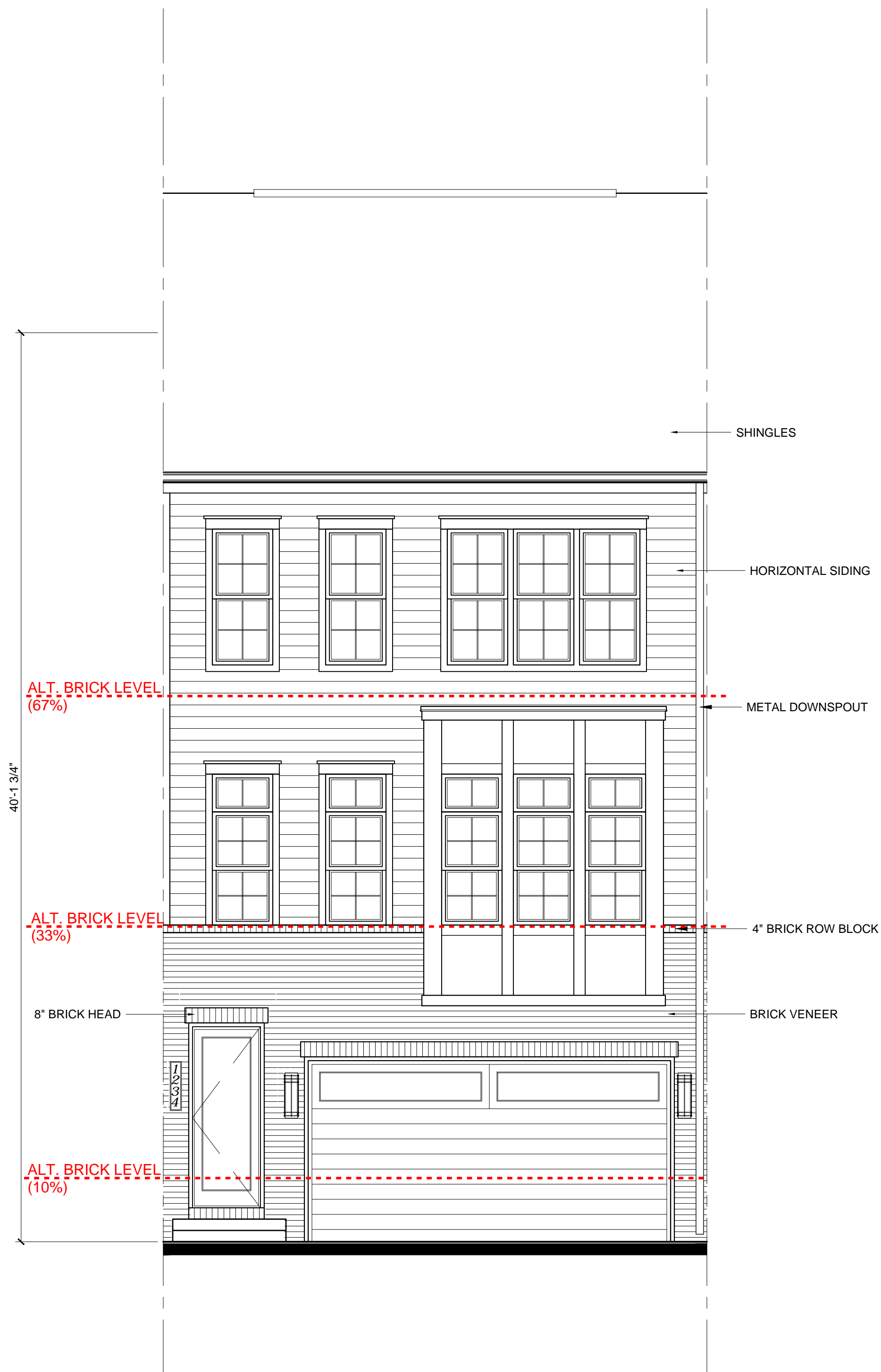
Meridian Brick - Downing Street
[Brick Color #3]

NOTES:
1. COLORS ABLE TO TO BE SUBSTITUTED WITH
SIMILAR COLORS AND ALTERNATE MANUFACTURERS

2. MASONRY LEVELS VARY BASED ON SITE LOCATION
AND REQUIRED PERCENTAGES OUTLINED IN PUD
PATTERN BOOK



FACADES ABUTTING PUBLIC STREETS AND PUBLIC PARKS: 50% MASONRY COVERAGE (MINIMUM); 50% CEMENTITIOUS SIDING/PANEL COVERAGE (MAXIMUM)
FACADES ABUTTING PRIVATE DRIVES AND ALLEYS: 10% MASONRY COVERAGE (MINIMUM); 90% CEMENTITIOUS SIDING/PANEL COVERAGE (MAXIMUM)



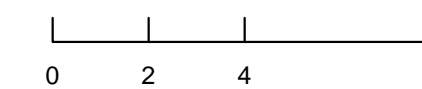
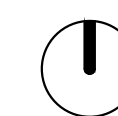


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CHAMBLEE
DEKALB COUNTY, GA
2020-0733.00, .01, .02, .03

SCHEMATIC DESIGN
JULY 21, 2021



24'X44'
FRONT LOAD

A.04b

COLOR MIX

SW - 7004 Snowbound
[Painted Cementitious Vertical
Siding + Board & Batten]

SW - 7004 Snowbound
[Painted Brick - Brick Color #1]

SW - 7015 Repose Gray
[Painted Cementitious Siding]

Meridian Brick - Stone Mountain
[Brick Color #2]

SW - 6254 Lazy Gray
[Painted Cementitious Siding]

Meridian Brick - Downing Street
[Brick Color #3]

NOTES:
1. COLORS ABLE TO TO BE SUBSTITUTED WITH
SIMILAR COLORS AND ALTERNATE MANUFACTURERS

2. MASONRY LEVELS VARY BASED ON SITE LOCATION
AND REQUIRED PERCENTAGES OUTLINED IN PUD
PATTERN BOOK



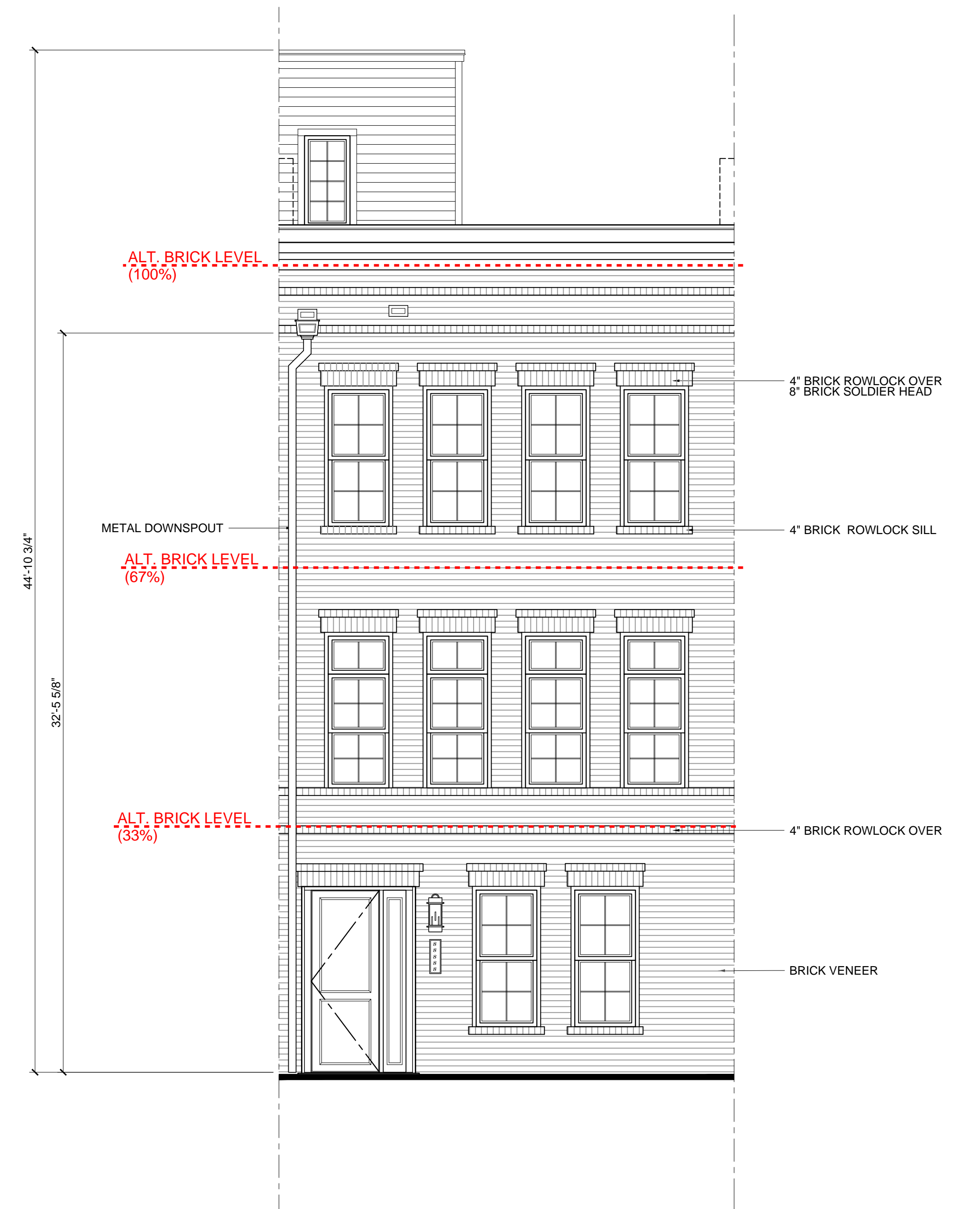
FACADES ABUTTING PUBLIC STREETS AND PUBLIC PARKS: 50% MASONRY COVERAGE (MINIMUM); 50% CEMENTITIOUS SIDING/PANEL COVERAGE (MAXIMUM)
FACADES ABUTTING PRIVATE DRIVES AND ALLEYS: 10% MASONRY COVERAGE (MINIMUM); 90% CEMENTITIOUS SIDING/PANEL COVERAGE (MAXIMUM)



TOWNHOMES
(4-STORY / REAR LOAD)

RENDERING

CHAMBLEE
CITY OF CHAMBLEE, GA





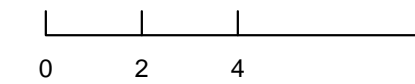
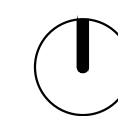


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CHAMBLEE
DEKALB COUNTY, GA
2020-0733.00, .01, .02, .03

SCHEMATIC DESIGN
JULY 21, 2021



22'X42'
REAR LOAD

A.05c

COLOR MIX

SW - 7042 Shoji White
[All Siding + Select Trim]

SW - 9171 Felted Wool

[Door color where door is NOT shaded in Condos]

SW - 7020 Black Fox
[Metal, Windows, Select Trim]
[Door color where door is shaded blue in Condos]

Meridian Brick - Pebble
[Main Brick Color]
Pairing Trim Color = SW Shoji White

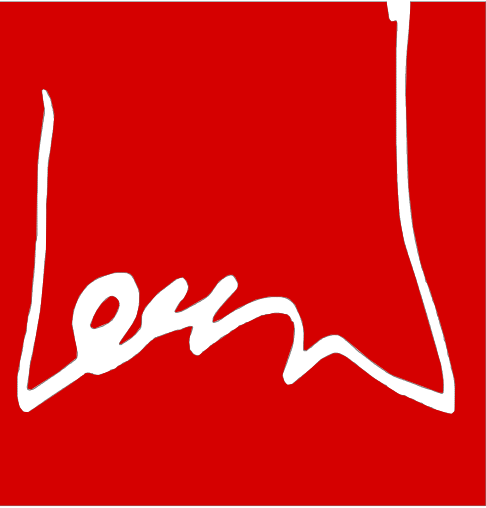
Meridian Brick - Downing Street
[Secondary Brick Color 1]
Pairing Trim Color = SW Black Fox

NOTES:
1. COLORS ABLE TO TO BE SUBSTITUTED WITH SIMILAR COLORS AND ALTERNATE MANUFACTURERS
2. MASONRY LEVELS VARY BASED ON SITE LOCATION AND REQUIRED PERCENTAGES OUTLINED IN PUD PATTERN BOOK



FACADES ABUTTING PUBLIC STREETS AND PUBLIC PARKS: 50% MASONRY COVERAGE (MINIMUM); 50% CEMENTITIOUS SIDING/PANEL COVERAGE (MAXIMUM)
FACADES ABUTTING PRIVATE DRIVES AND ALLEYS: 10% MASONRY COVERAGE (MINIMUM); 90% CEMENTITIOUS SIDING/PANEL COVERAGE (MAXIMUM)





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500-M AMSTERDAM AVENUE, NE
ATLANTA, GA 30306
P: 404.474.4814
CONTACT: Jason Schick
E-mail: jschick1@tollbrothers.com

TYPICAL BUILDING (+5 LOTS)

PROJECT No:	THH.020
DRAWN BY:	Auth
CHECKED BY:	Check
PLOT DATE:	7/26/2021 10:59:15 A
FILE NAME:	

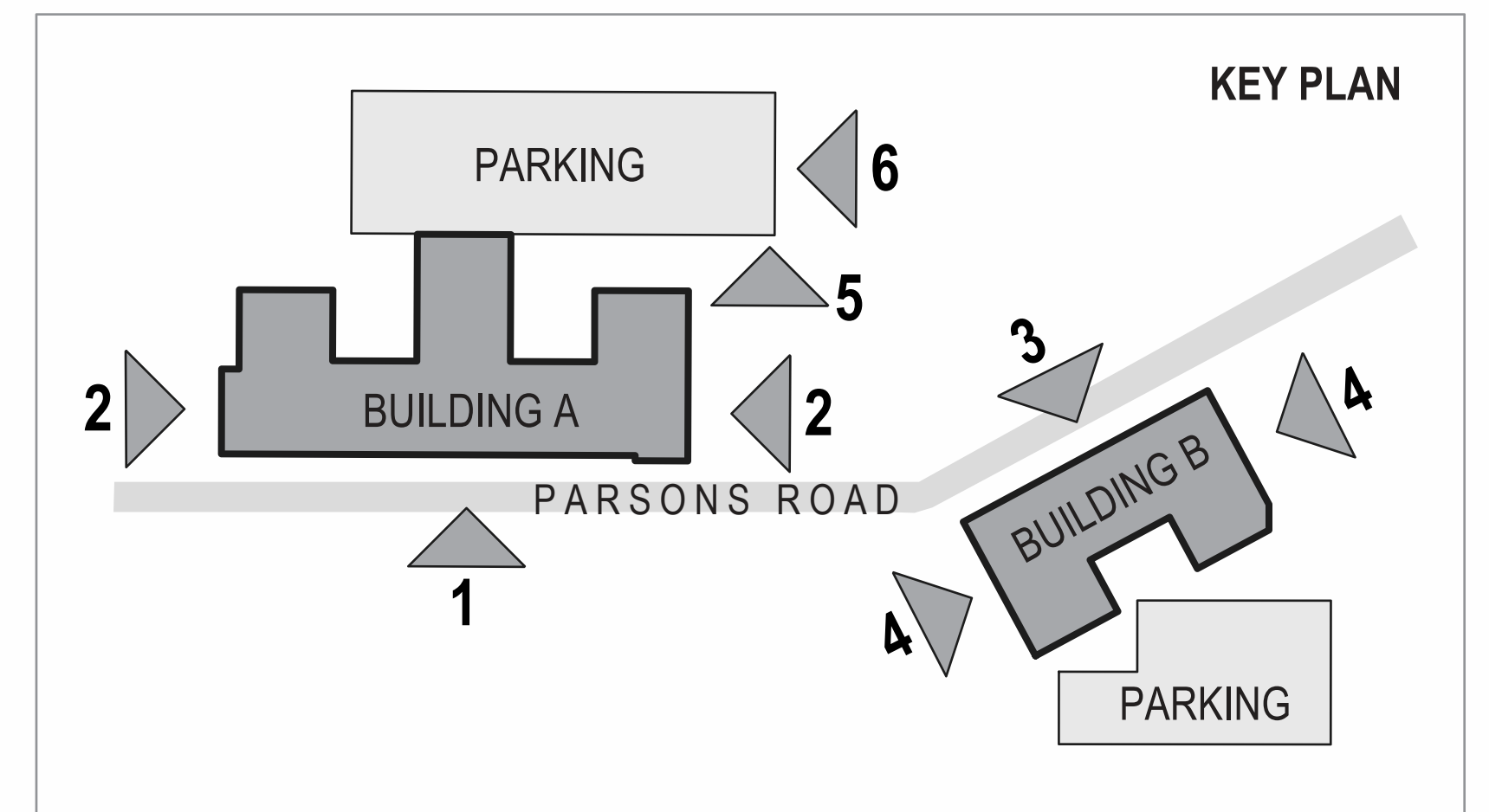
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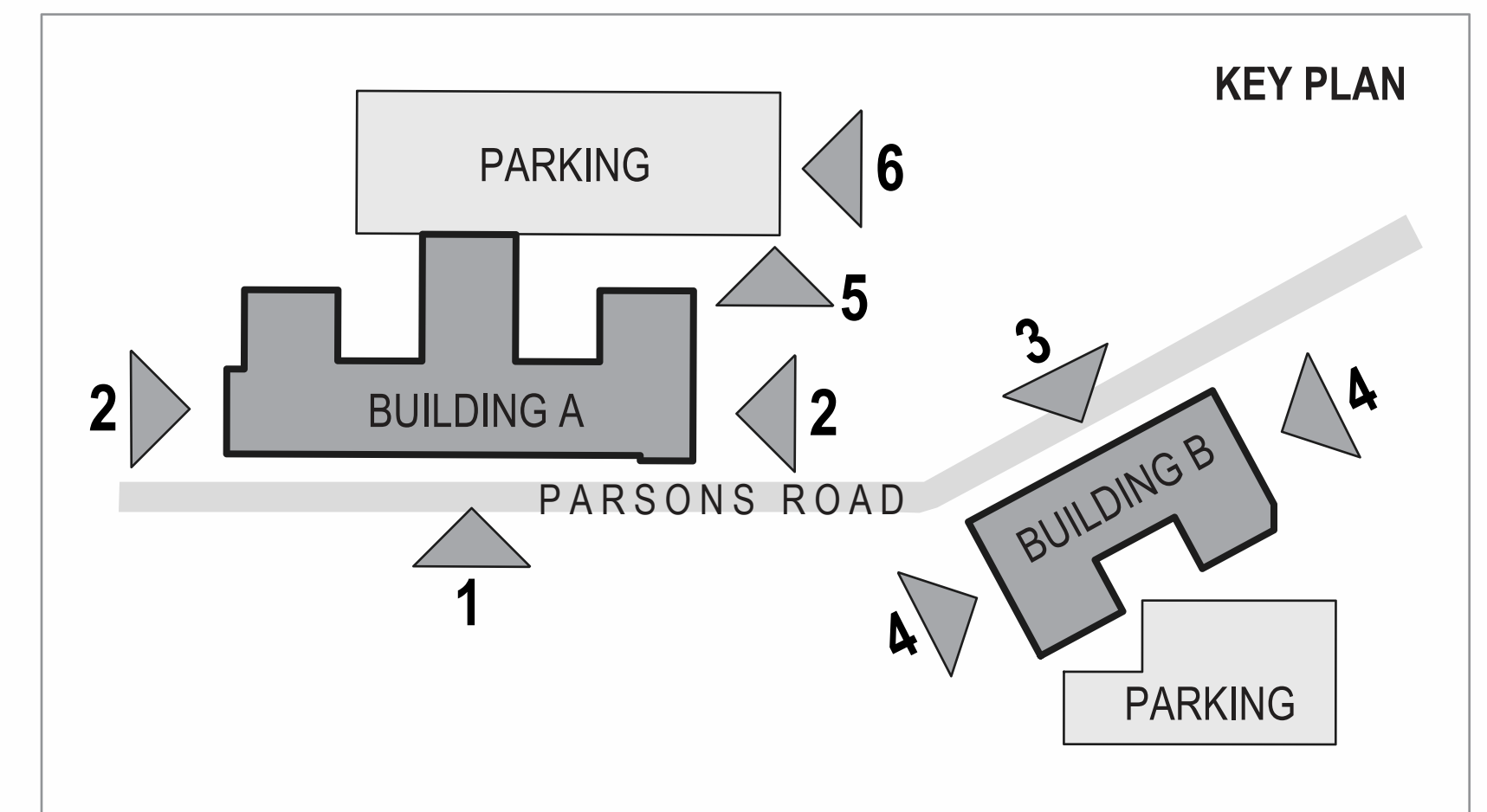
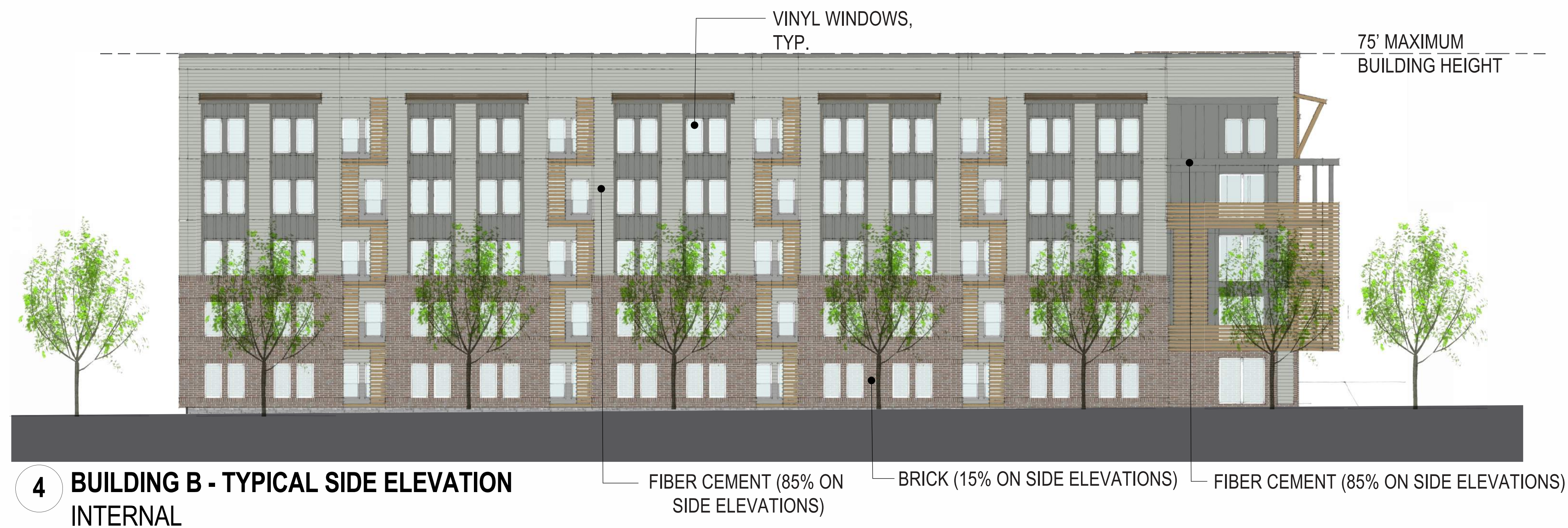


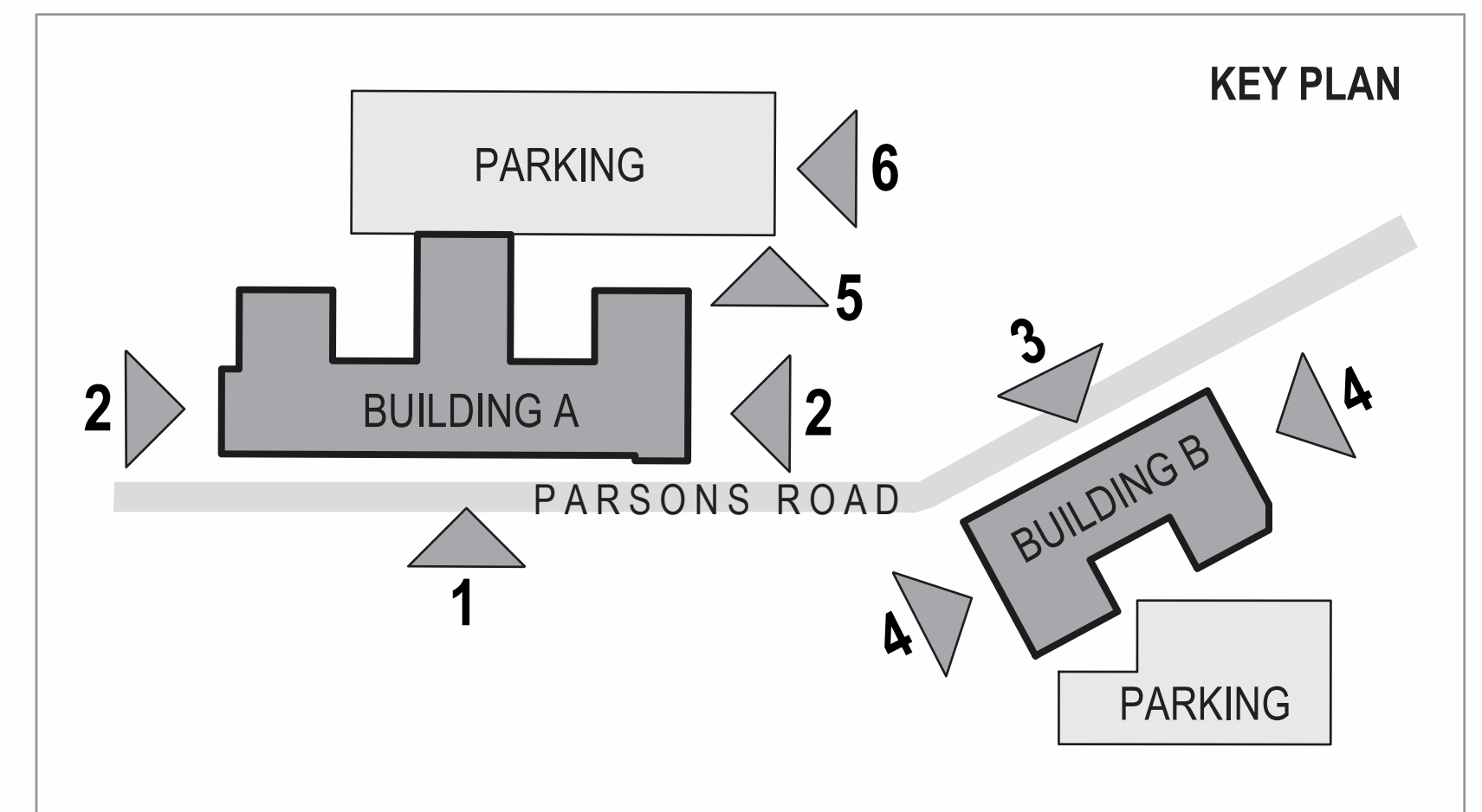
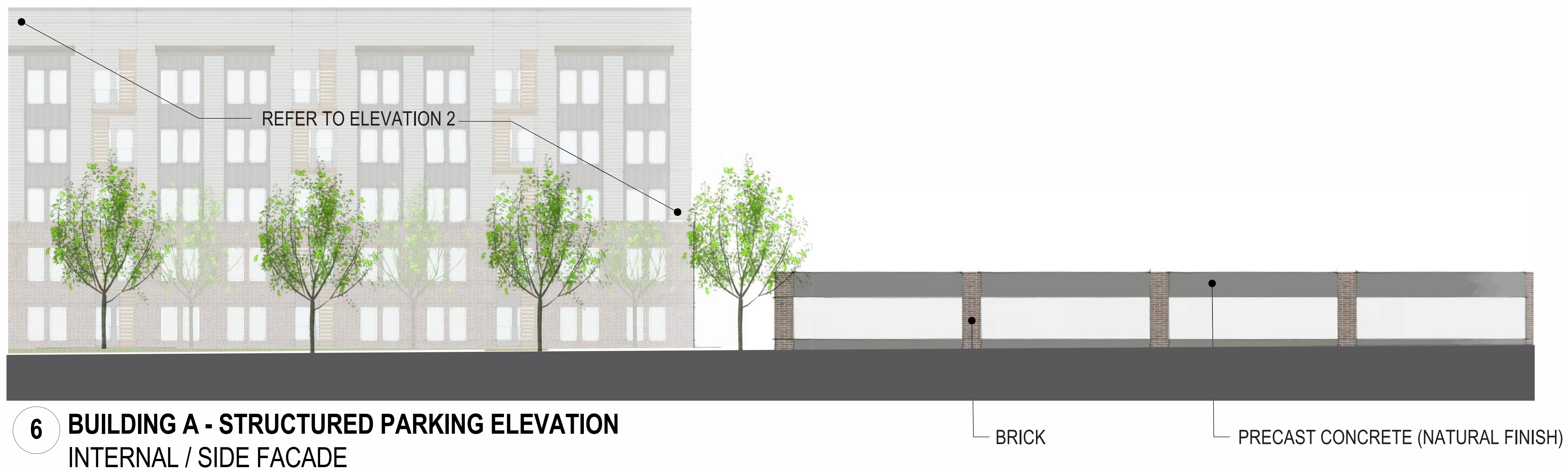
ARCHITECTURAL RENDERINGS

Examples of the Multifamily Building Type are attached



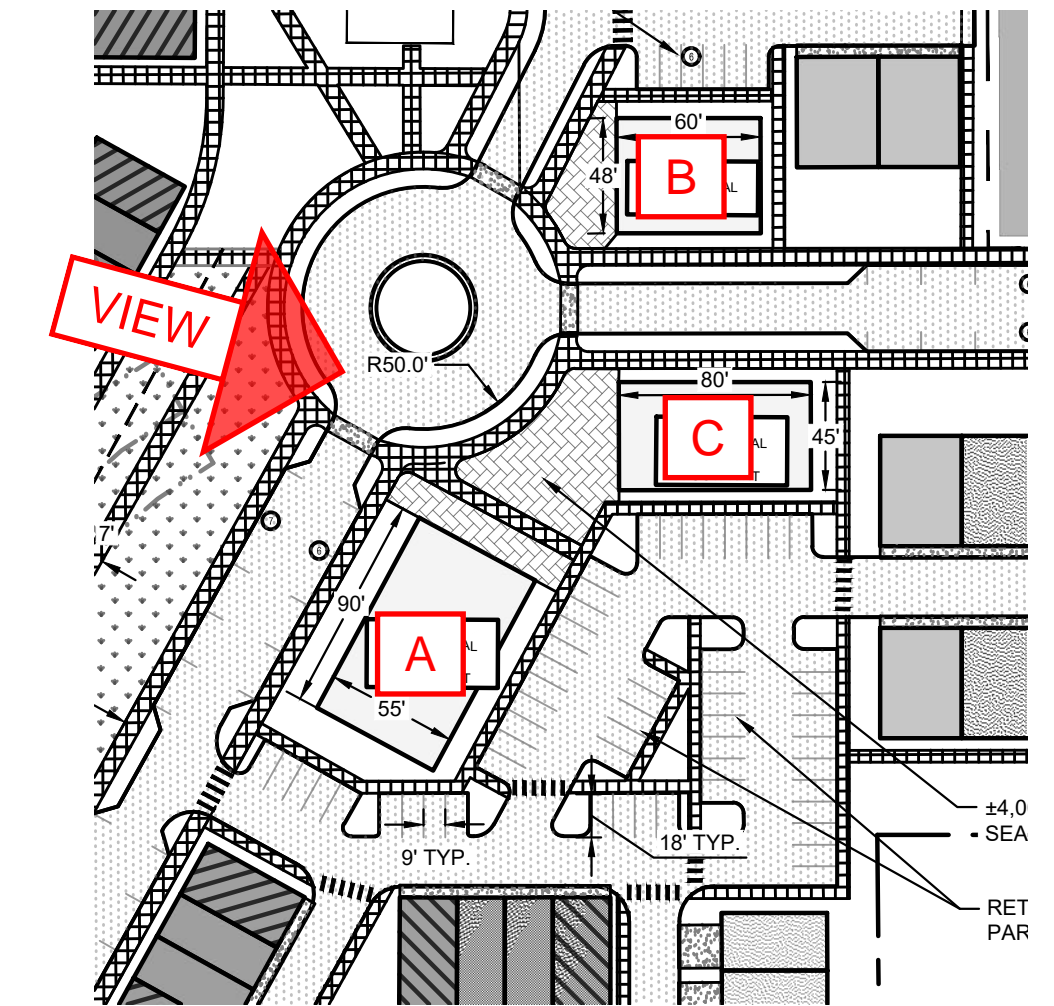






ARCHITECTURAL RENDERINGS

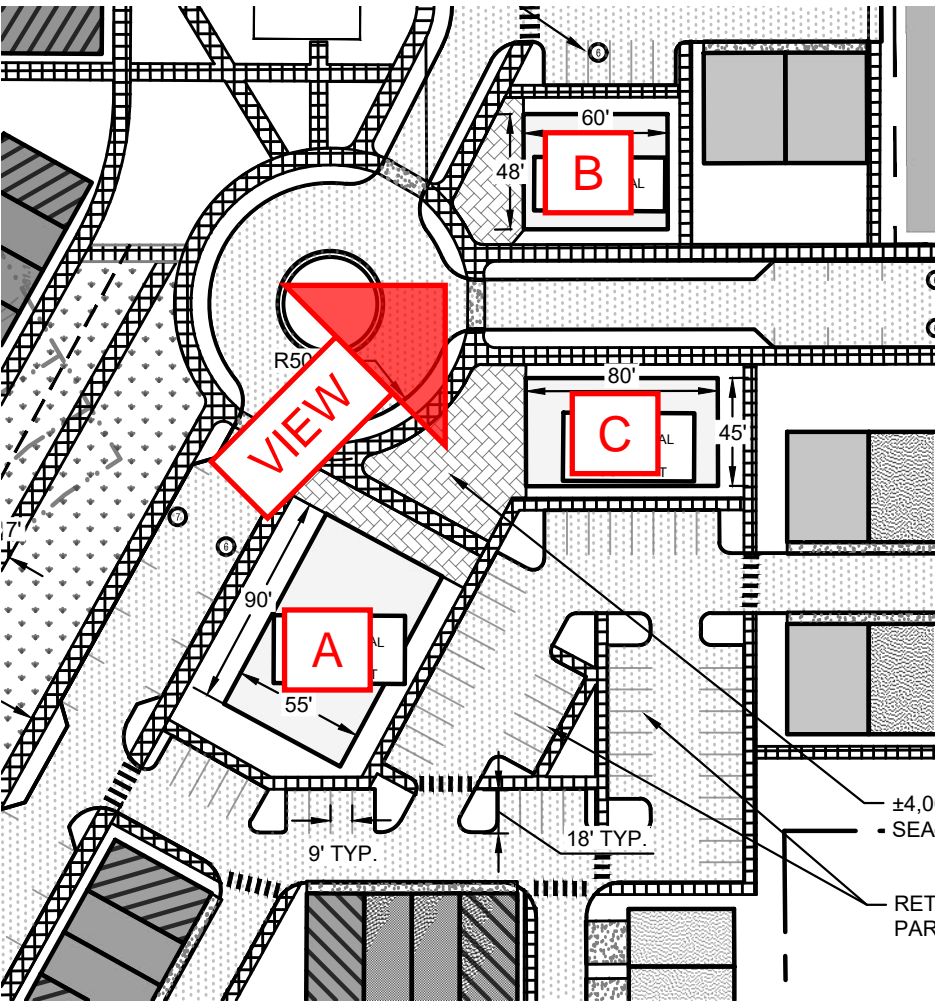
Examples of architectural styles for the Shopfront Building
Type are attached



KEY PLAN

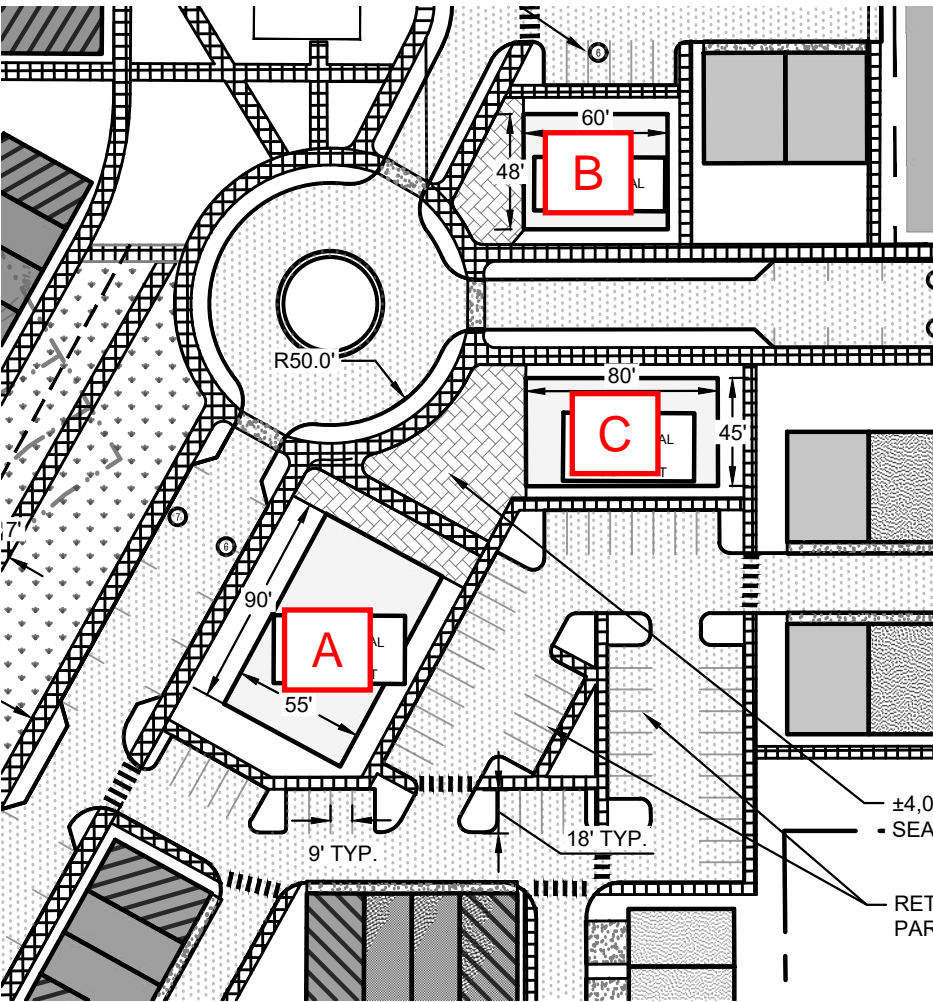


FACADES ABUTTING PUBLIC STREETS AND PUBLIC PARKS: MASONRY COVERAGE 50% (MINIMUM)
FACADES ABUTTING PRIVATE DRIVES AND ALLEYS: MASONRY COVERAGE 10% (MINIMUM)

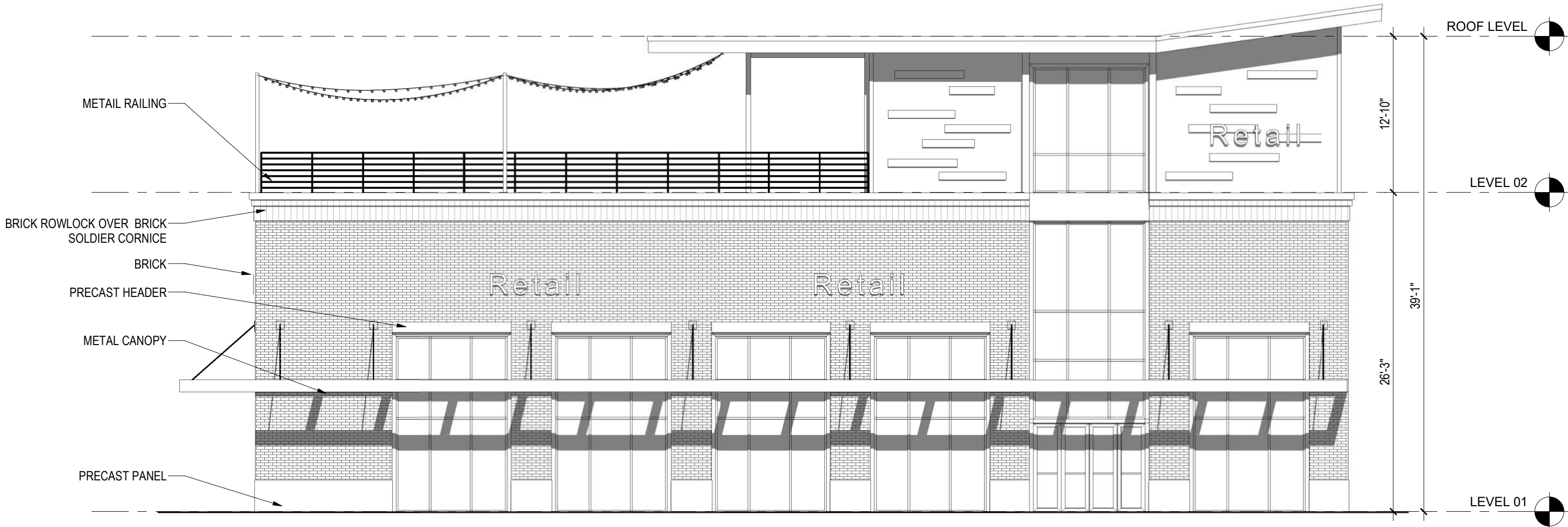


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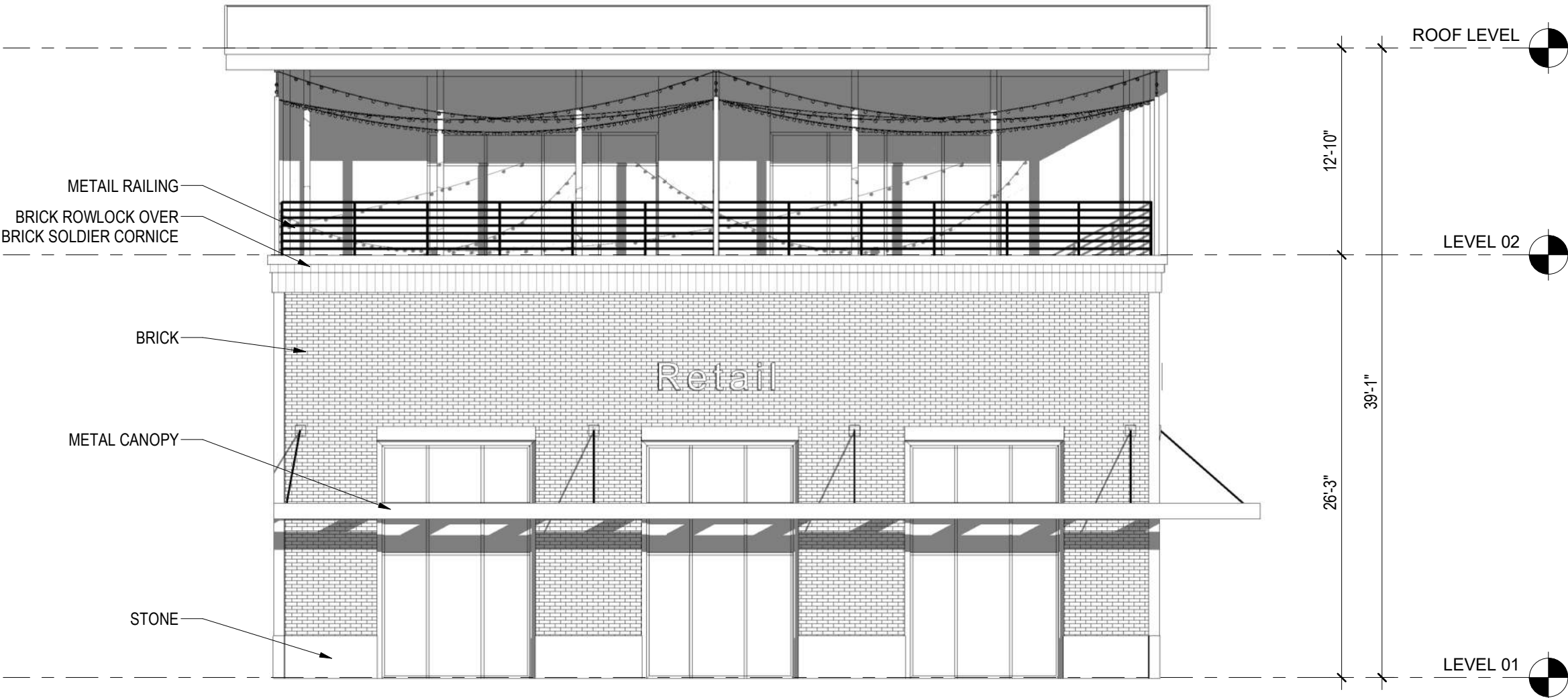
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FACADES ABUTTING PRIVATE DRIVES AND ALLEYS: MASONRY COVERAGE 10% (MINIMUM)



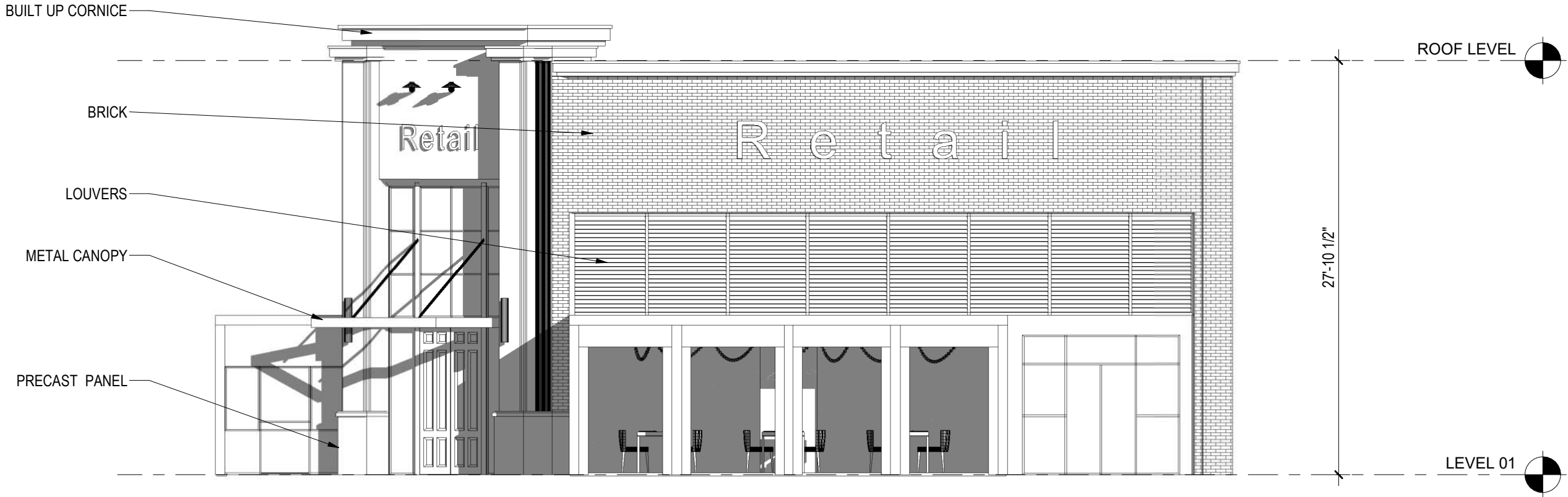
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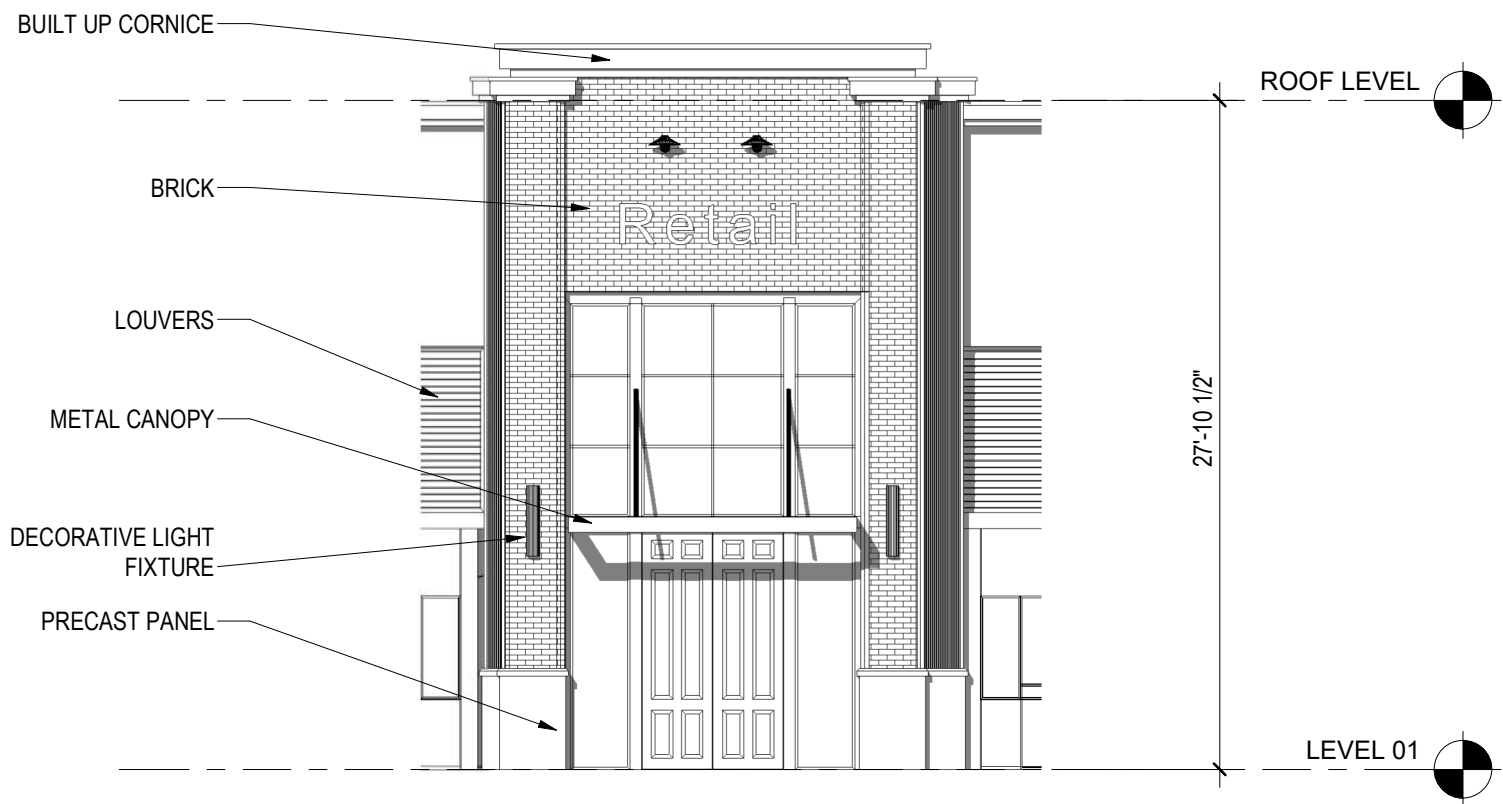
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A200 Scale: 1/8" = 1'-0"



2 RETAIL BUILDING A
A200 Scale: 1/8" = 1'-0"



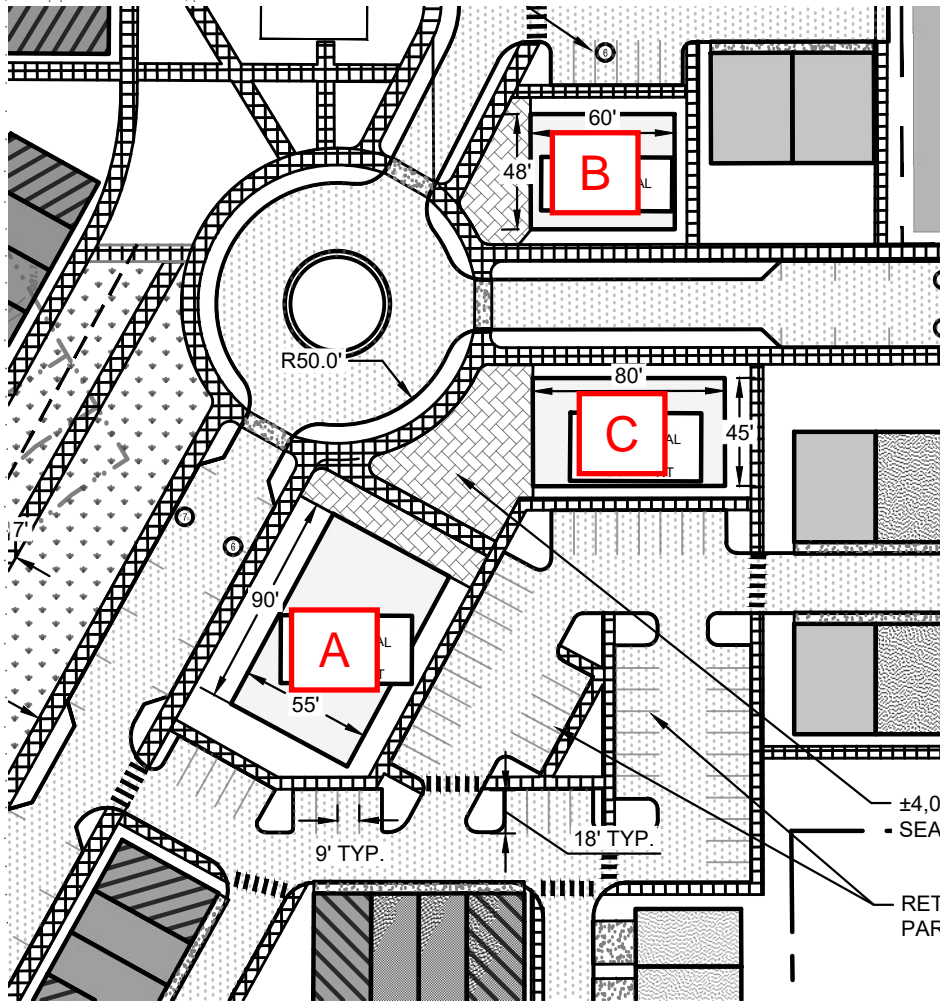
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A201
RETAIL BUILDING B
Scale: 1/8" = 1'-0"



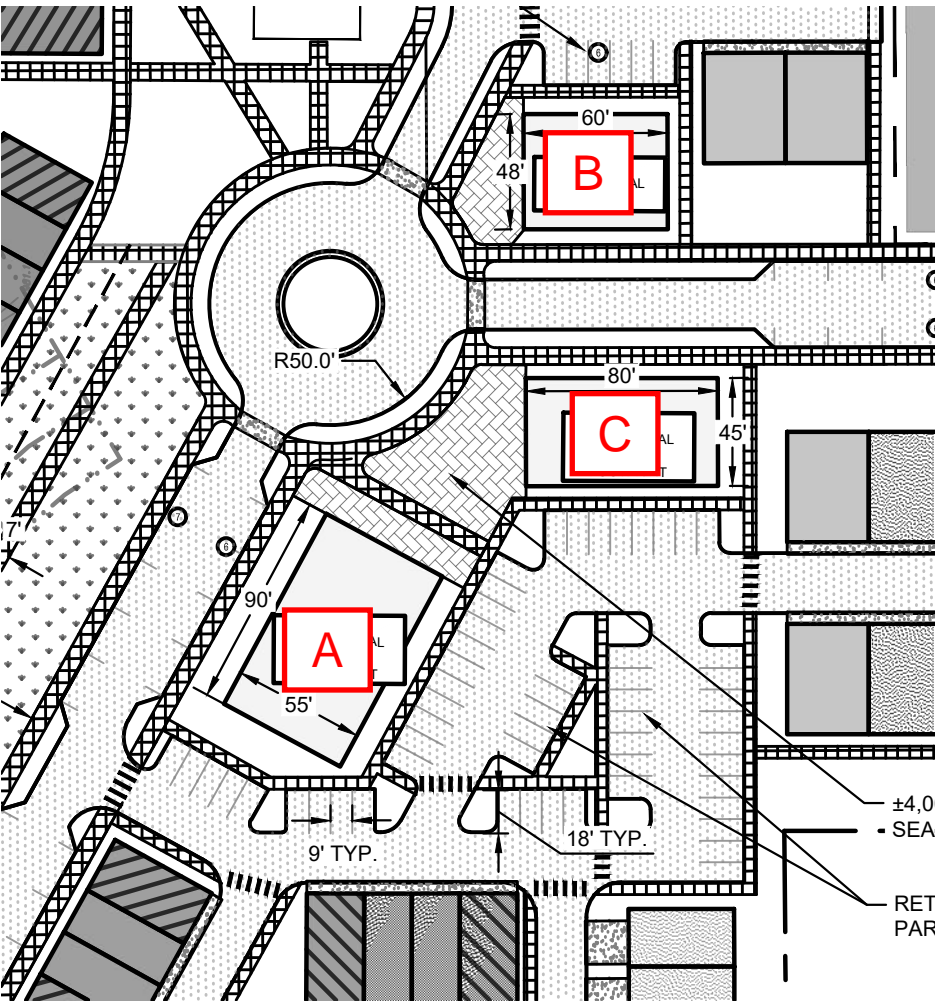
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A201
RETAIL BUILDING B
Scale: 1/8" = 1'-0"



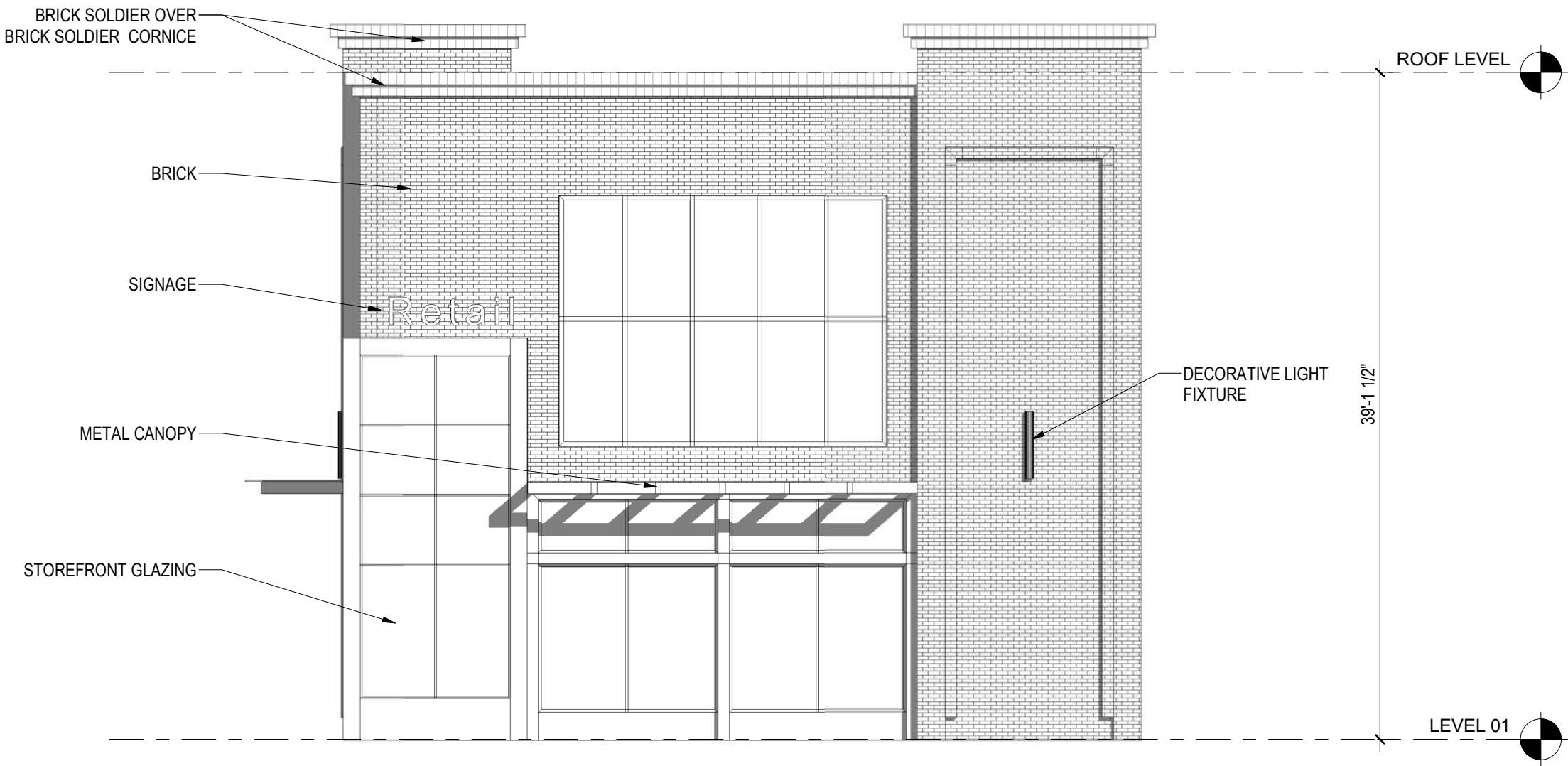
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A201
RETAIL BUILDING B
Scale: 1/8" = 1'-0"



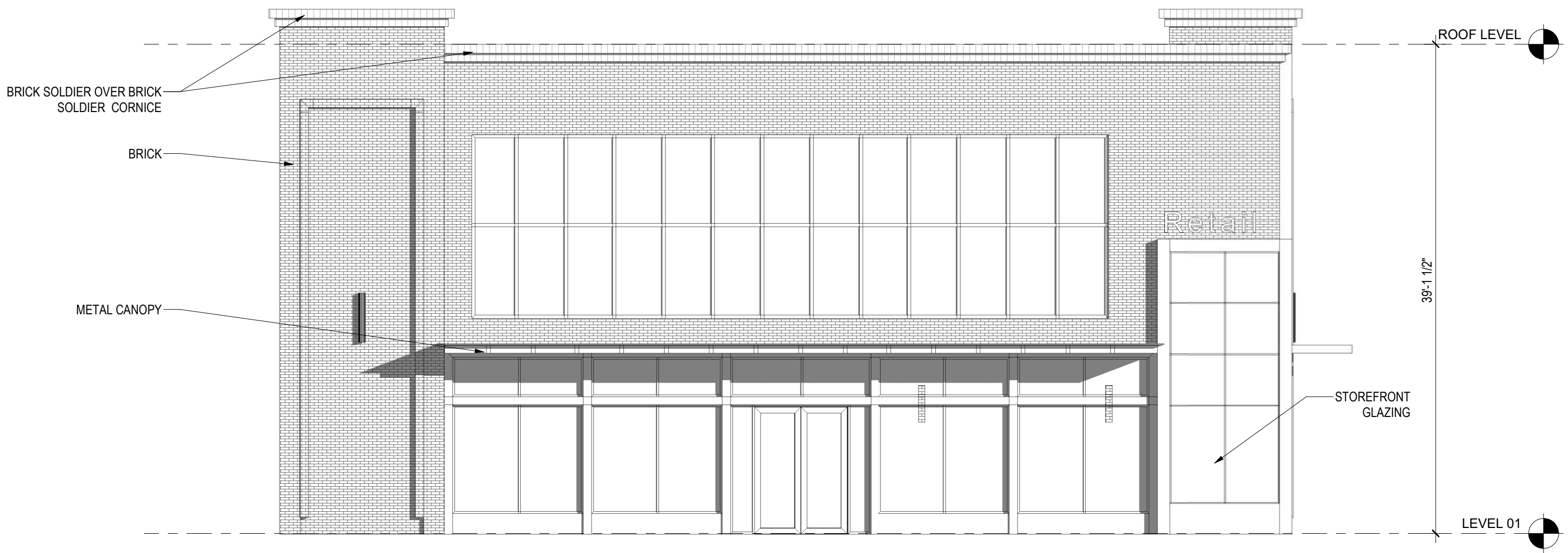
KEY PLAN



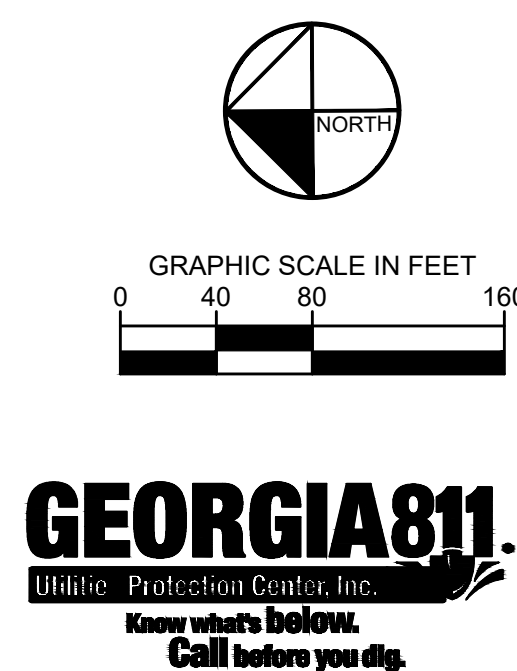
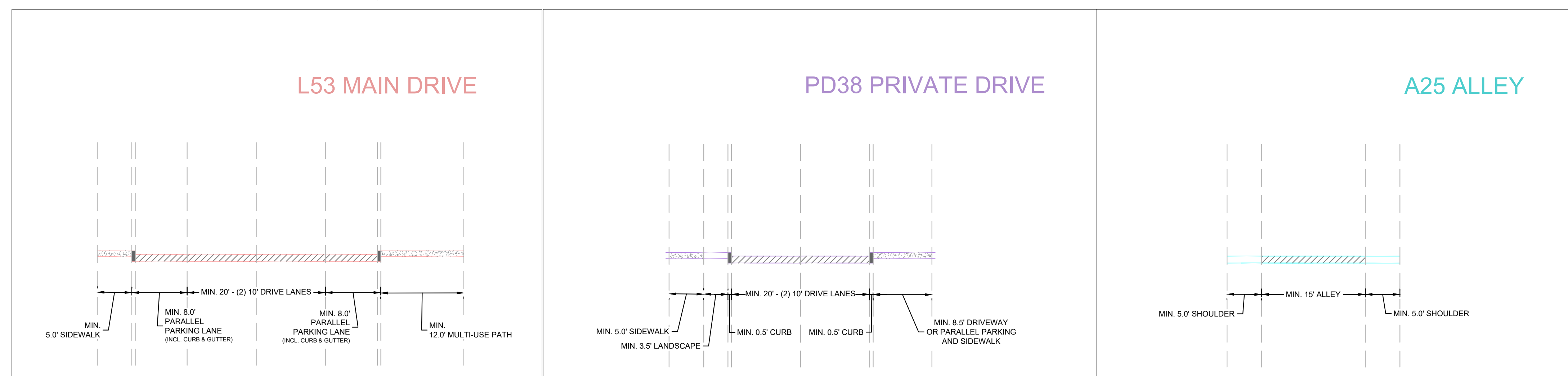
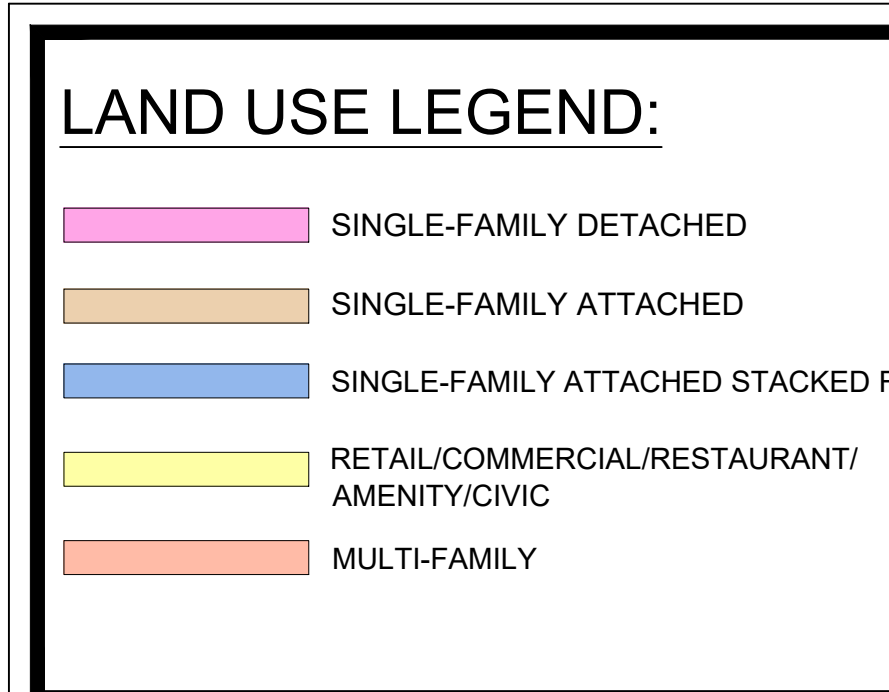
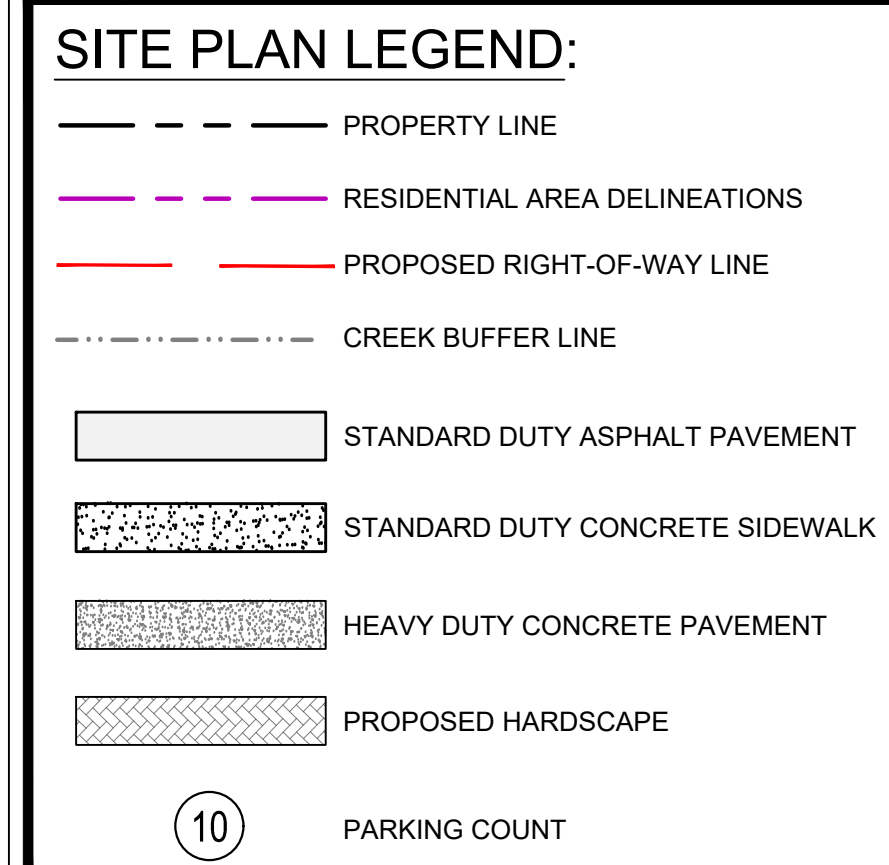
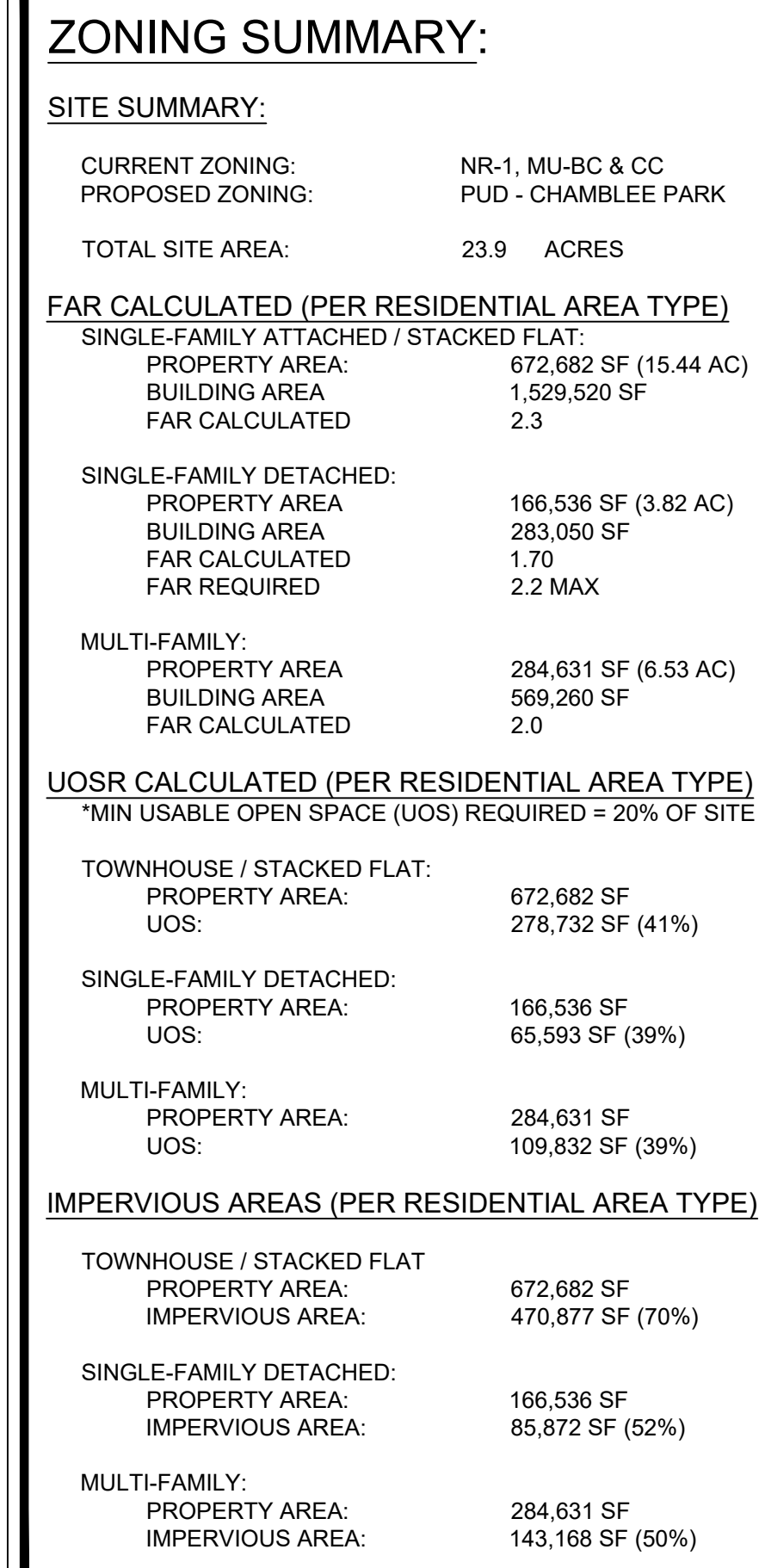
KEY PLAN



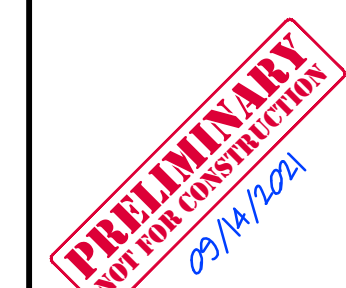
2 RETAIL BUILDING C
A202 Scale: 1/8" = 1'-0"



1 RETAIL BUILDING C
A202 Scale: 1/8" = 1'-0"

[illegible]

**CHAMBLEE
ASSEMBLAGE**
PARSONS DRIVE & DEACON LANE, DEKALB, GA
LAND LOT 334, 18TH DISTRICT



GSWCC CERT. (LEVEL II)	0000068765
DRAWN BY	ATB
DESIGNED BY	IDK
REVIEWED BY	BWS
DATE	9/14/2021
PROJECT NO.	012826010
TITLE	
REGULATING PLAN	
SHEET NUMBER	